



DESIGN & ACCESS STATEMENT

**Construction of 44no. Affordable Dwellinghouses
& Residential Apartments, Access Road
and Associated Infrastructure
At Land off Cefn Glas, Tredegar, Blaenau Gwent NP22 3EP**

**On behalf of
Aelwyd Build**

Our Ref: 1801.a
Date: August 2026
Prepared by: Shannon Stone

Approved by: Richard Banks

Contents

1.0	INTRODUCTION.....	3
2.0	SITE ANALYSIS AND CONTEXT	4
3.0	PLANNING HISTORY	9
4.0	PLANNING POLICY	10
4.1	LOCAL DEVELOPMENT PLAN	10
4.2	HIGHWAY CHARACTERISTICS IN RELATION TO ACCESS AND PARKING STANDARDS	12
5.0	DEVELOPMENT PROPOSALS	14
5.1	DESIGN CONCEPT.....	14
5.2	LAYOUT	14
5.3	SCALE.....	16
5.4	APPEARANCE.....	21
5.5	LANDSCAPE DESIGN	25
6.0	ACCESSIBILITY	26
7.0	COMMUNITY SAFETY.....	27
8.0	ENVIRONMENTAL SUSTAINABILITY	28
9.0	MOVEMENT	30
10.0	CONCLUSION	31

1.0 INTRODUCTION

- 1.1 Evans Banks Planning has been instructed by Aelwyd Build to seek full planning permission from Blaenau Gwent County Borough Council. The application seeks approval to construct 44no. Affordable Dwellinghouses & Residential Apartments, Estate Road and Associated Infrastructure, over land that forms part of a series of former agricultural field enclosures, off Cefn Glas, Tredegar.
- 1.2 This Design and Access Statement has been compiled under the provisions of Technical Advice Note (TAN) 12 “Design” (2014) and the Town & Country Planning (GDPO) (Amendment) (Wales) Order 2009, No. 1024: Design and Access Statements: Wales. It has been prepared as part of the planning application and its contents should be read in conjunction with the submitted plans. It has been prepared on the basis of the nature and type of the above proposal, and the proposed scheme has been assessed against the following key areas, as well as the site’s context:
- Character
 - Local Development Plan Policies
 - Environmental Sustainability
 - Movement to, from and within the development
- 1.3 The Design and Access Statement has been prepared following the guidance set out in *Planning Policy Wales (12th Edition) (February 2024)* and *Technical Advice Note 12: Design (2014)*.
- 1.4 The site has been the subject of previous Pre-Application Consultations which received the formal responses of Council Officers. The scheme parameters and layout of those earlier indicative schemes have been modified to account for the Officer feedback, and in particular the means of access off the existing local highway network.
- 1.5 The proposed residential scheme has been redesigned to account for the Applicants’ discussions and preliminary agreement with a local Housing Association, who seek to provide 100% Affordable Housing on the site, given the high social housing need in evidence in this part of Blaenau Gwent. The proposed

scheme seeks to provide a complete range of Affordable Housing to meet that identified need, with units intended for social rented tenures.

2.0 SITE ANALYSIS AND CONTEXT

- 2.1 The application site comprises the significant part of a large undulating to sloping former grazing field enclosure, which is some 2.0 hectares (5.0 acres) in size. The entire enclosure lies immediately off the western flank of the local authority-built residential estate known as Cefn Glas, at the western extremity of Tredegar. The site shares a long eastern perimeter with that estate which comprises a mix of linked dwellinghouses and bungalows, which are served with areas of communal surfaced parking and short, rear gardens. The estate is located several metres below the ground level of the application site, with a steep grassed embankment separating the sites.
- 2.2 The south-western flank of the site borders onto the carriageway of Western Crescent, a no-through road, extending up from West Hill and Glandoverly Terrace. A mix of individually styled bungalows and detached dwellinghouses lie solely off the western flank of that minor road, with the opposite, eastern side opening to the former Twyn Glas farm holding, of which the application forms part of, with further grazing land extending west and north from the application site.
- 2.3 The Cefn Glas estate is served off a public highway, which is two-way in dimension and equipped with footways off both flanks. It extends up the mid-hillside to the estate from its south-eastern junction with Gelli Road, where a small number of modest commercial enterprises are to be found, interspersed with modern housing.
- 2.4 The subject enclosure is irregular in shape with ground contours revealing that it falls and rises from south-east to north-west and is punctuated by natural depressions and raised mounds which are covered in semi-mature grassland. The perimeters with Western Crescent are formed from simple post and wire

fencing, with an agricultural gateway and unmade track off that public carriageway.

- 2.5 The subject site contains the remains of a former farmhouse, which has long since fallen into dereliction and is not used. More compact and functioning farm buildings are to be found off the site, and on partially higher ground to the west, off the northern extremity of Western Crescent.
- 2.6 This Statement will focus upon the agricultural field as falls above Cefn Glas. It will be acquired by the Applicants, solely for the purposes of developing a mix of affordable housing for an identified housing need in the settlement and surrounding environs.
- 2.7 Figure 1 illustrates a wider OS Map of the village to highlight the position of the land adjoining Cefn Glas and Western Crescent in relation to this western part of Tredegar, whilst Figure 2 provides a “Google Earth” image of the site, with the above features identified. Figure 3 below depicts an Ordnance Survey map extract with the application site edged in red.

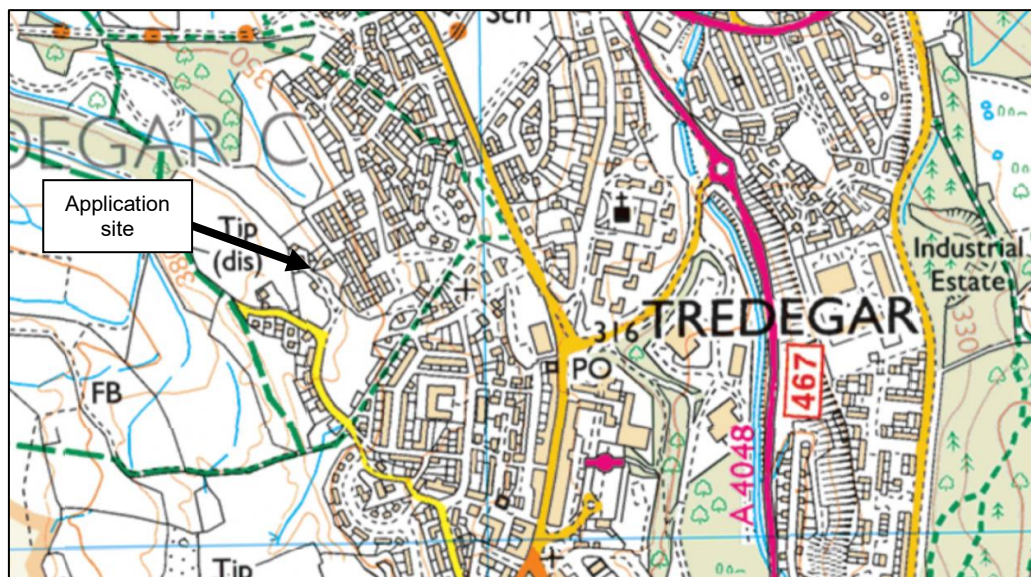


Figure 1 – OS Explorer Map with Application Site Identified



Figure 2 – Google Earth Image (July 2021)



Figure 3 – Ordnance Survey Map Extract with Site Edged in Red

- 2.8 Photographs 1 - 5 below illustrate the current site in its agricultural state, with views from Western Crescent and Cefn Glas. The photos also illustrate the wide expanse of open field enclosure, undulating ground contours and proximity of the Cefn Glas residential estate. The photos also provide an indication of the existing physical features in evidence on the site and immediate surroundings.



Photograph 1 – Extent of Proximity of Cefn Glas Properties to Eastern Perimeter



Photograph 2 – View from the Midpoint of the Enclosure Looking Toward Cefn Glas



Photograph 3 – View of Western Extent of Site Facing Western Crescent



Photograph 4 – Extent of Semi-Improved Grassland at Application Site



Photograph 5 – View Along Western Crescent of Former Tip Associated with Coal Legacy at Application Site

3.0 PLANNING HISTORY

- 3.1 The site has not been the subject of any previous applications for planning permission.

4.0 PLANNING POLICY

4.1 LOCAL DEVELOPMENT PLAN

- 4.1.1 The development plan in form for the purposes of Section 38(6) of the Planning & Compensation Act 2004 is the Blaenau Gwent Local Development Plan, which was adopted in November 2012.
- 4.1.2 The majority of the application site is located within the defined settlement limits of Tredegar, with the exception of the northern part of the site which falls just outside, but nevertheless adjoining limits.
- 4.1.3 The LDP Proposals Map is reproduced in extract as Figure 4 and shows the adjoining residential estate of Cefn Glas extending over the mid-hillside to the open expanse of agricultural enclosure, and also the remains of the former Twyn Glas farmhouse and yard.

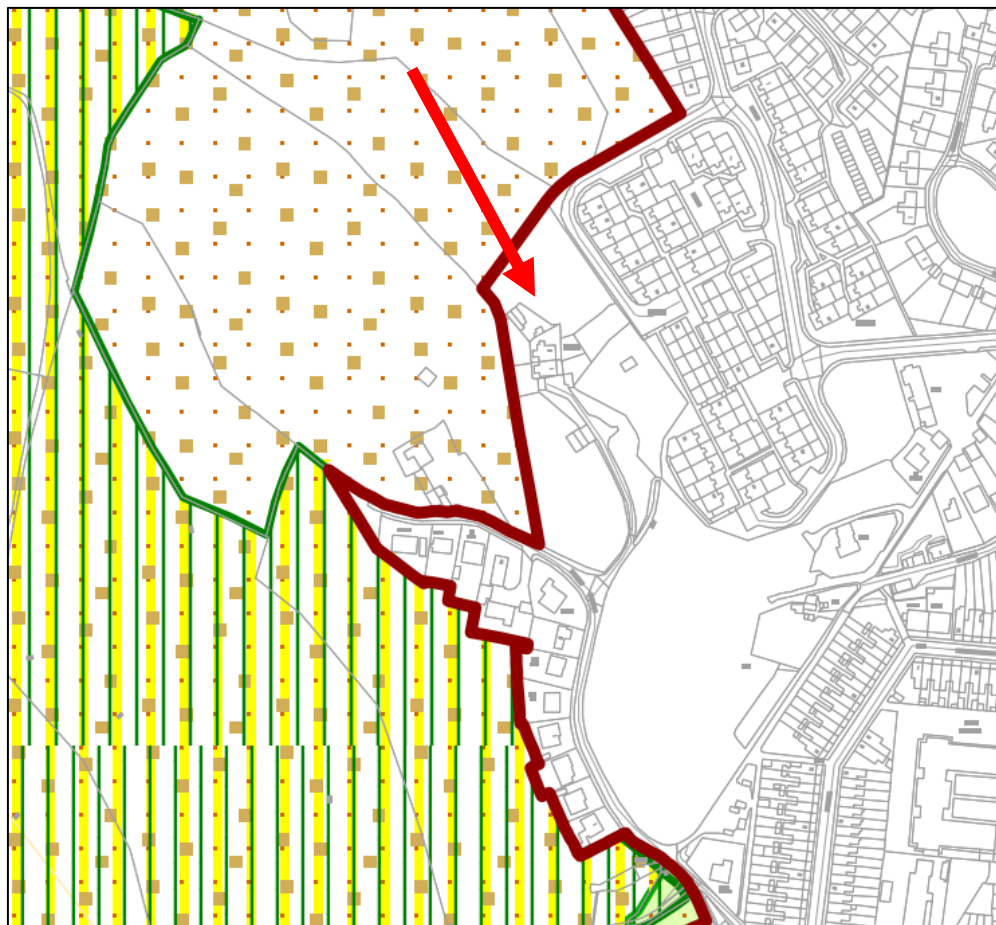


Figure 4 – LDP Proposals Map Extract

4.1.4 Tredegar is regarded as a “*District Hub*” in the hierarchy of settlements in the LDP. Policy SP4 Delivering Quality Housing supports new forms of housing, indicating that it seeks *“To create sustainable communities, developments must include a mix of dwelling types, sizes and tenure, including new affordable dwellings.”*

4.1.5 The Policy goes further aiming to be *“able to deliver 335 new affordable dwellings, through the use of planning obligations on qualifying sites and based on an estimate of the number of affordable housing exception dwellings coming forward over the Plan period.”*

4.1.6 Policy DM8 of the LDP allows for **“Affordable Housing Exception Sites”**, indicating that:

“Affordable housing development for local needs will be permitted as an exception to policy adjoining rural settlements in the north of the County Borough and all settlements in the south provided that:

- a) Evidence exists in the form of a local housing needs survey that there is a genuine demonstrable local need in the settlement for such accommodation;*
- b) There are no allocated sites coming forward within the settlement boundary which could meet this need;*
- c) Satisfactory arrangements can be made to ensure that the dwellings are retained as affordable housing for local needs in perpetuity;*
- d) The proposal adjoins and forms a logical extension to the settlement boundary whilst avoiding ribbon and fragmented patterns of development; and*
- e) The proposal would not form an intrusive feature in the landscape.*

In the interests of creating and maintaining sustainable mixed communities, proposals will only be considered for sites of 10 units or less.”

4.1.7 Policy DM2 Design and Placemaking indicates that development proposals will be permitted provided:

- a. They are appropriate to the local context in terms of type, form, scale and mix;*

- b. They are of good design which reinforces local character and distinctiveness of the area or they positively contribute to the area's transformation and raise density, where appropriate;*
- c. The development has regard to 'Secured by Design' principles;*
- d. Landscaping and planting, where appropriate, achieves a suitable visual setting for the scheme and integrates it into the wider context."*

4.1.8 Policy DM1 of the LDP promotes development proposals which should be compatible with their surroundings in terms of scale, height, massing, and the general topography of the locality. Proposals must not adversely affect local amenity in terms of visual impact, loss of light or privacy, disturbance and traffic movement.

4.1.9 The Policy requires the siting of new proposals for development to have regard to the physical character and topography of the site and surroundings. Particularly being seen to integrate with the landscape, conserve and utilise existing boundary features, and having full regard to adjoining developments.

4.1.10 This Policy also in particular advocates that proposals must not adversely affect local amenity in terms of visual impact, loss of light or privacy, disturbance and traffic movement.

4.2 HIGHWAY CHARACTERISTICS IN RELATION TO ACCESS AND PARKING STANDARDS

4.2.1 Policy DM1 also requires all new development to have regard to allowing access and facilities for all; provide satisfactory car parking, and; be accessible to cyclists, pedestrians and users of public transport.

4.2.2 The subject site is proposed to be accessed via a new estate road, extending off the western extremity of Cefn Glas. Vehicular access from the existing estate road through Cefn Glas can achieve excellent horizontal visibility in both directions for emerging vehicles into a new residential development.

-
- 4.2.3 The carriageway of Cefn Glas is noted that it has a width averaging some 5.5 metres, with wide dedicated footways off both flanks, and the road section is also well lit with modern lamp standards. It is subject to a 20-mph speed limit.
- 4.2.4 National Planning Policy on highway considerations to be found in “Manual for Streets” advocates the introduction of residential scheme single junctions to cater for schemes which could range up to 150 dwellinghouses, and therefore these application proposals, although only containing 44 units, have been designed to fall well within the threshold of that national requirement.
- 4.2.5 Blaenau Gwent County Borough Council have adopted **Supplementary Planning Guidance – Access, Car Parking & Design (2014)**. The guidance stipulates car parking ratios for new developments dependant on the site’s location in relation to settlement form and its sustainable attributes, particularly the availability of public transport and proximity to education and community facilities.
- 4.2.6 The site at Tredegar enjoys proximity to a good range of nearby community facilities, such as Primary School, community hall, public houses and convenience shops. It can be categorised as a **Zone 2 Suburban Location**, at Appendix 6 of the SPG.
- 4.2.7 The site west of Cefn Glas lies within a ten-minute walking distance of Glanhwy Primary School, and some 10 minutes’ walk from Gwent Shopping Centre and the Lidl food store at Stockton Way. A walk of 10 minutes would take new residents to the local Medical Surgery.
- 4.2.8 The application site lies upon a primary public bus route, with service E14 running from a bus stop at Gwent Way and operates an hourly service. Notwithstanding, the site lies only a 10 minutes’ walk to Tredegar Bus Station, which offers a multitude of services across the valley and further afield.

5.0 DEVELOPMENT PROPOSALS

5.1 DESIGN CONCEPT

- 5.1.1 The site has been surveyed and the prevailing ground contours recorded to inform the future development levels. Design Concepts have taken a lead from Council Highways Officers response to previous Pre-Application Enquiries, and the overwhelming need to ensure that vehicular access to the site is via a public highway which is capable of accommodating additional traffic flow given its dimensions. Previous proposals to access the new site via Western Crescent have been dismissed given that sections of that carriageway are narrow in form and lack adjoining footways.
- 5.1.2 A proposed access road off Cefn Glas is therefore preferred, being a new 5.5 metres wide carriageway, equipped with footways to the developed flank, and rising up into the application enclosure. It will form a spine road and thereafter a cul-de-sac off which new semi-detached houses and modest block of apartments will be orientated to front, with respective side driveways and traditional rear garden space.

5.2 LAYOUT

- 5.2.1 The proposals have sought to utilise the contours of the site to form a series of cul-de-sac formations over of the field enclosure. A single point of access is proposed off an extension of the Cefn Glas carriageway, with it ascending and arcing into the site. The extended estate road with be designed with 5.5 metres wide carriageway with 2.0 metres wide footways across its length. The road will extend northwards to terminate in a turning head.
- 5.2.2 The proposed site layout as shown below at Figure 5 has been formulated with the sustainable disposal of surface water in full consideration, and also the need to ensure a buffer zone to an existing water main that runs parallel to the common boundary with Cefn Glas. It has also taken on board Welsh Water's need to retain future access to that main apparatus, and also the statutory need to seek compliance and adoption of all new surface water drainage measures as part of SAB legislation. The site layout illustrates a new attenuation basin to be formed

within the perimeter of the site acting to retain excess surface water from the development site.



Figure 5 – Proposed Site Layout Plan

- 5.2.3 The proposals illustrate for a mix of bungalows and two-storey dwellinghouses, all orientated to front their respective section of estate road and equipped with off-road car parking in the form of side driveways, and traditional rear garden space. There is also a proportion of residential flats with blocks of mixed sizes located near the southern Crescent side of the site.
- 5.2.4 The proposals have undergone considerable revision from that indicatively put forward under the previous Pre-Application Enquiries. Notably, only ten proposed units are set outside the defined settlement boundary as defined in the LDP. Nevertheless, as stated above, **Policy DM8 allows for Affordable Housing additions up to 10 units on land immediately adjoining settlement limits.** The scheme therefore proposes such an exception, in addition to the remaining 34 units which fall within limits.
- 5.2.5 The proposals also seek to ensure that new dwellings respectful of neighbouring residential properties, and in particular the blocks of linked dwellings which share a rear garden boundary with the application site at Cefn Glas. New dwellings are

shown off an internal estate road facing the rear elevations of those existing properties but conspicuously segregated from the eastern perimeter by the wide expanse of landscaping embankment, which has to be retained undeveloped on account of the water mains buffer zone. It is understood that the Authority would require a minimum habitable distance in excess of 20 metres in all cases, to safeguard the existing privacy standards of those neighbouring occupants. The effect of the segregation created by the buffer zone and embankment is that such a minimum distance is more than easily achieved.

5.2.6 Existing properties located directly west of the site at Western Crescent are set at a partly comparable ground level to the application field and are set back into their respective plots. Nevertheless, the proposed apartments will have the effect of being set at an angle to avoid direct overlooking and in any event lie over 20 metres distant from existing bungalows at Western Crescent. An Area of Open Space has been left where the application site meets Western Crescent, thus creating a pleasant open buffer between the new dwellings and those residents living opposite and overlooking the site.

5.2.7 New dwellings will take place over a compacted and uniform site layout in terms of unit conformity and inter-relationship between development phases given over to semi-detached houses, generously separated in the new street scenes through use of side driveway space.

5.3 SCALE

5.3.1 Proposed properties will be predominantly two-storey semi-detached dwellings, which form the principal house type across the site. The proposal also includes four detached two-storey dwellings and two semi-detached bungalows, positioned in selected locations across the site. In addition, the development proposes five blocks, each containing two one-bedroom flats, and three blocks, each containing two two-bedroom flats.

5.3.2 The Accommodation Schedule depicted in Figure 6 below provides details of the varied mix of flat, house and bungalow types across the site and reveals a generous adaptation of scales for all users.

<u>Unit Summary</u>	
1 Bedroom Units:	18
2 Bedroom Units:	16
3 Bedroom Units:	8
4 Bedroom Units:	2
TOTAL UNITS:	44
<u>Increase of units:</u>	<u>7</u>
<u>House Type Summary</u>	
1 Bedroom Flat (F1):	10
1 Bedroom Flat (F2):	8
1 Bedroom Flat (F3):	0
2 Bedroom House (H1):	3
2 Bedroom House (H2):	6
2 Bedroom House (SSA H2a):	5
2 Bedroom Bungalow (B1):	0
2 Bedroom Bungalow (SSA B1a):	2
3 Bedroom House (H3):	4
3 Bedroom House (SSA H3a):	4
4 Bedroom House (SSA H4):	2
TOTAL UNITS:	44

Figure 7 – Accommodation Schedule

5.3.3 Figure 8 below provides a 3D illustration of flat type **F1**, comprising a single building containing two one-bedroom apartments. Figure 9 provides a 3D illustration of flat type **F2**, comprising a single building containing two two-bedroom apartments. Both flat types have been designed externally to reflect the appearance, scale and form of a traditional dwelling, ensuring that they integrate appropriately with the wider residential development and do not appear as conventional apartment blocks.

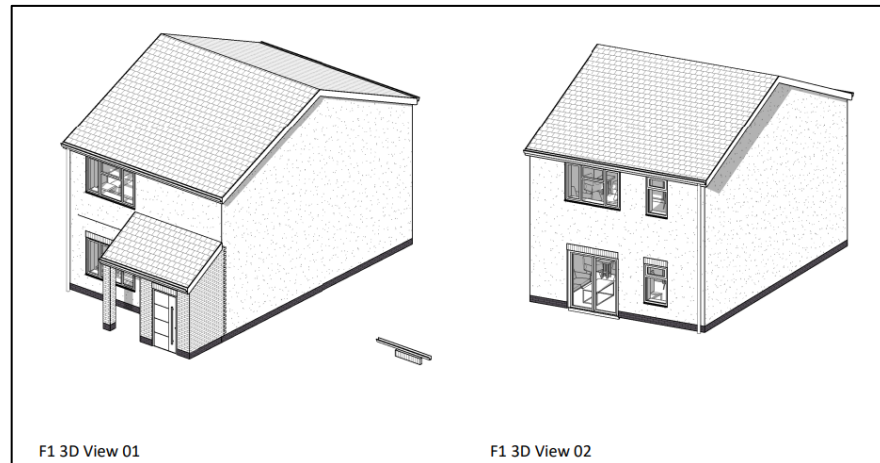


Figure 8 – Flat Type F1

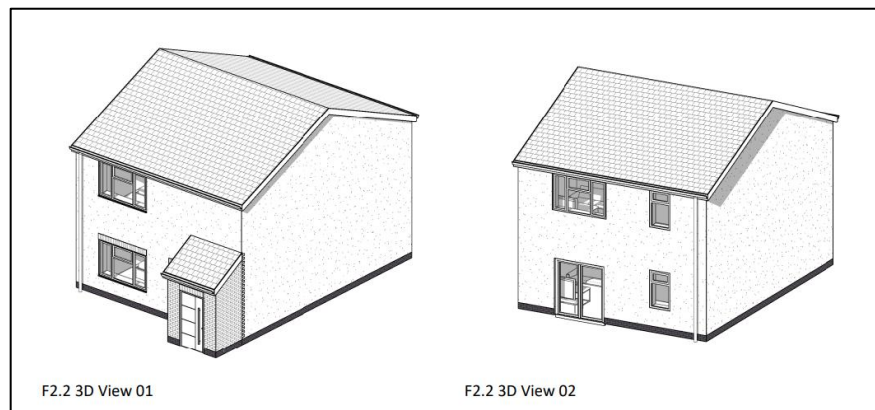


Figure 9 – Flat Type F2

5.3.1 Figure 10 depicts a 3D illustration of house type **B1**, a two-bedroom bungalow.

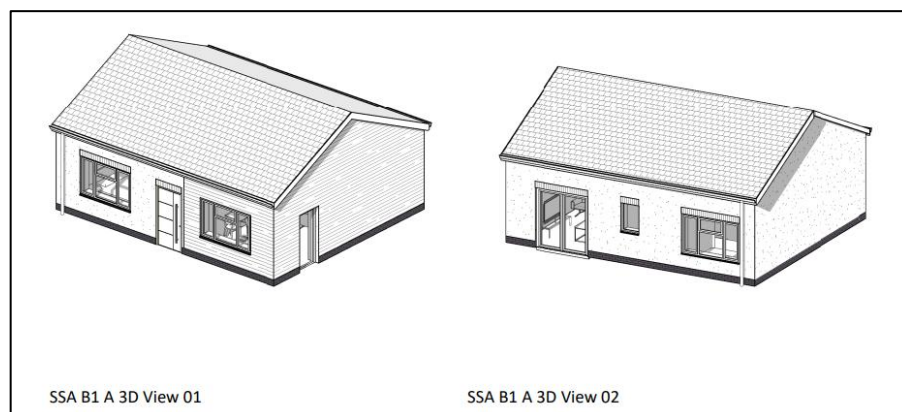


Figure 10 – House Type B1

5.3.2 Figure 11 depicts a 3D illustration of house type **H1**, a two-storey, two-bedroom dwelling.

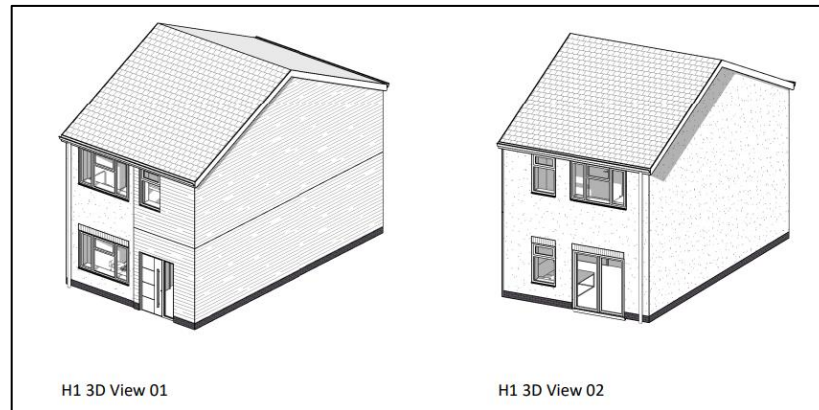


Figure 10 – House Type H1

5.3.3 Figure 11 depicts a 3D illustration of house type **H2**, a two-storey, two-bedroom dwelling.

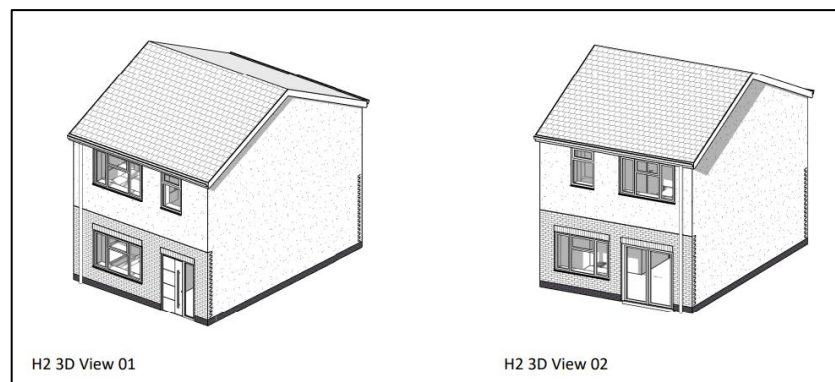


Figure 11 – House Type H2

5.3.4 Figure 12 depicts a 3D illustration of house type **H3**, a two-storey, three-bedroom dwelling.

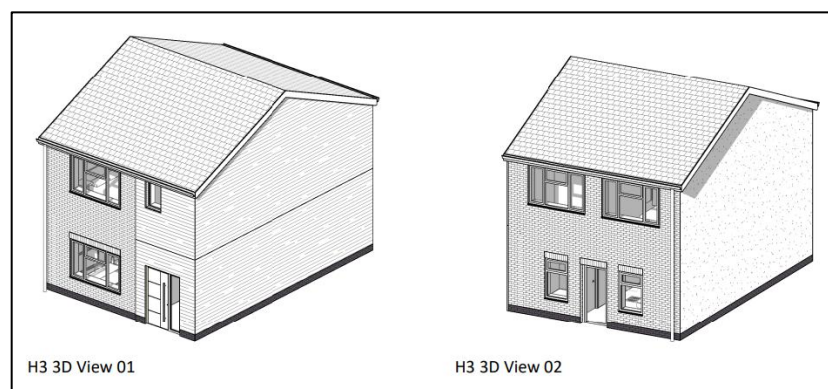


Figure 12 – House Type H3

5.3.5 Figure 13 depicts a 3D illustration of house type **SSA H2**, a two-storey, two-bedroom dwelling.

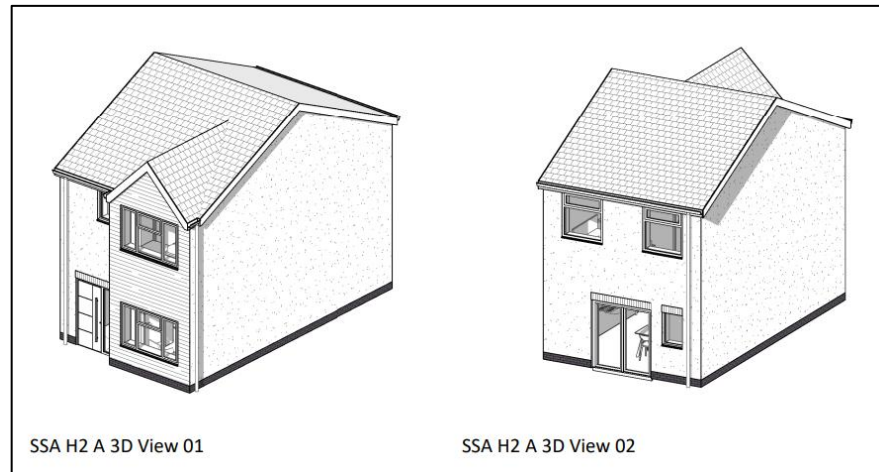


Figure 13 – House Type SSA H2

5.3.6 Figure 14 depicts a 3D illustration of house type **SSA H3**, a two-storey, three-bedroom dwelling.

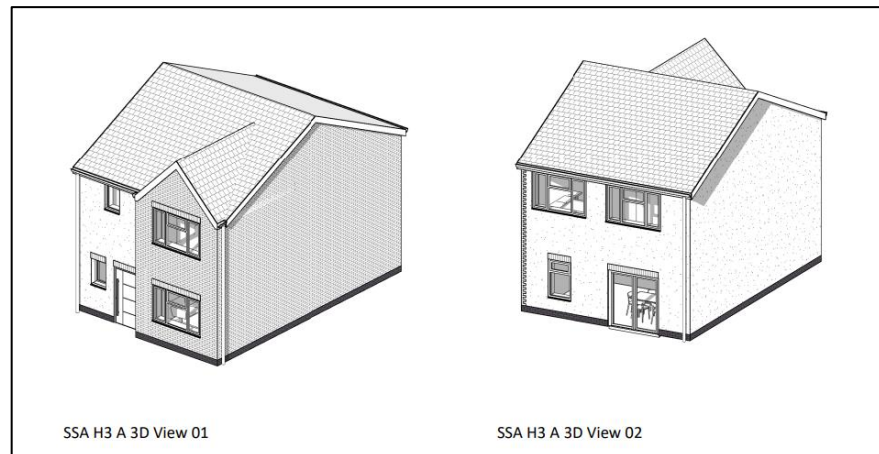


Figure 14 – House Type SSA H3

5.3.7 Figure 15 depicts a 3D illustration of house type **SSA H4**, a two-storey, four-bedroom dwelling.

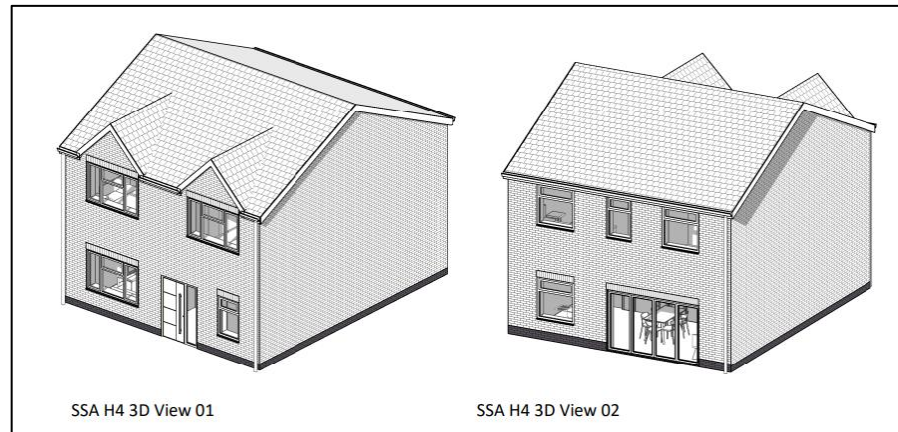


Figure 14 – House Type SSA H4

- 5.3.4 Development Density is based on 44 residential units equates to a development density over the 2.0 hectares, being 22 units per hectare. Such a density is considered low and reflective of the semi-rural location of the site, its heavily undulating topography, and being sited at the fringe of the built form at Cefn Glas.
- 5.3.5 However, it is evident from the submitted site layout that the scheme is compact in land take. Each dwelling is afforded side driveways with rear garden depths of modest proportions. Habitable distances between units within the site itself are in compliance with Local Planning Authority spatial standards.
- 5.3.6 Nevertheless, the site is sloping down to the eastern / south-eastern corner and has to allow for elements of surface and foul water disposal measures within the site.

5.4 APPEARANCE

- 5.4.1 Policy DM2 indicates that development proposals should contain an element of local distinctiveness. The site off Cefn Gals is set between 1960's / 70s linked local-authority-built housing and individual properties at Western Crescent. A balance between the two distinct elements is sought and particularly given the need to respect the close proximity of the site to open pasture at the remaining Twyn Glas farm holding.
- 5.4.2 Saddle roofs will predominate, respectful of modest roof pitches and with black tiled finishes throughout. House types offer a semi-rural theme, with use of beige

render to generate a neutral, light finish, with elements of mixed buff/white brick, and millboard black composite cladding. All such external finishes would not appear out of character as an external finish in this suburban environment and setting, as shown below.

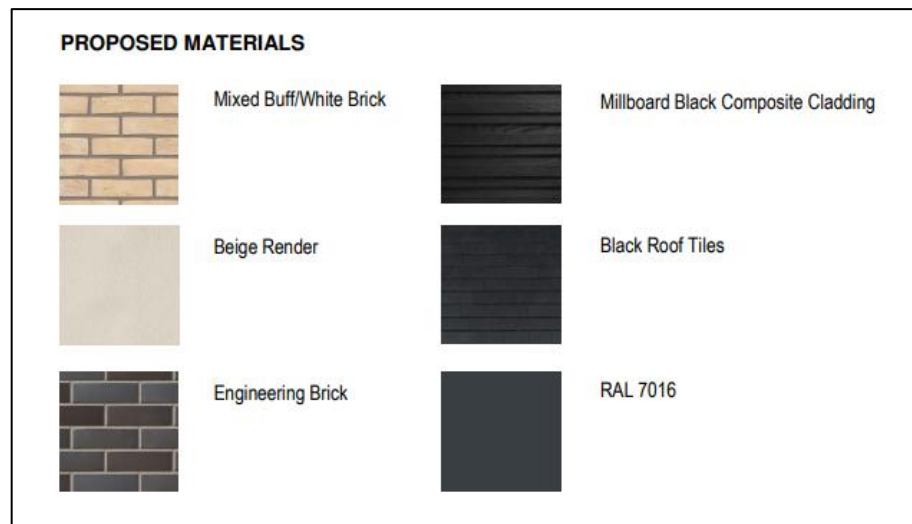


Figure 15 – Proposed Materials

5.3.8 Windows and doors would seek to adopt a contrasting, darker finish to add interest and sense contemporary detailing as shown below.

PROPOSED MATERIALS		
REF.	ELEMENT	MATERIAL
1.	Roof	Black Roof Tiles
2.	Roof	Black Fascia and Rainwater goods
3.	Walls	Beige Render
4.	Walls	Buff Brick
5.	Window	Double or triple glazed window with uPVC RAL 7016 Frame
6.	Door	Black External Door with Sidelight
7.	Door	Bi-fold or sliding doors with uPVC RAL 7016 Frame
8.	Door	Black External Door
9.	Door	Glass External Door
10.	Wall	Black Composite Cladding

*All doors and windows to meet Secured by Design standards.

In the instances where there is a soldier course above fenestration within a brick facade, the brick is to be no.4. Alternatively, soldier courses within rendered facade to be engineering brick.

Figure 16 – Proposed Materials

5.4.3 A local vernacular of modern house forms and complementary appearances is difficult to locate at Tredegar as the settlement displays a wide variety of build forms. The 1960s / 70s built estate developments, such as at neighbouring Cefn Glas, offer a predominance of painted render and brown face brick which does little to promote a sense of local distinctive or sense of placemaking, inherent in Planning Policy Wales design guidance.

5.4.4 Photographs 6 to 9 below provide examples of modern house building at Tredegar and the multitude of contrasting styles and appearances on offer.



Photograph 6 – Typical House Types at Nearby Oliver Jones Crescent



Photograph 7 – Typical Terraced Streetscene at Nearby West Hill

- 5.4.5 Within this western part of the settlement, there are also older, more traditional terraced house examples in evidence, with the dwelling shown in Photograph 8 below being a sole example.



Photograph 8 – Typical Bungalows Established at Western Crescent



Photograph 9 – Typical Linked, Two-storey Housing at Cefn Glas

- 5.4.6 The proposed development at land off Cefn Glas will introduce a conformity of house types, but with fresh contemporary styles to reflect the precise local setting. The land does not lie adjacent to any traditional or historic property and thus there is no requirement to lean to a traditional aesthetic appearance in building form.

5.5 LANDSCAPE DESIGN

- 5.5.1 The proposals illustrate a lack of existing hedgerow and tree specimens at the site. The scheme provides the opportunity to plant selected tree saplings and new native hedgerows across the site. Importantly, new hedge planting could take place off the extended estate road from Cefn Glas to act as a pleasant “green gateway” into the site when viewed by motorists and pedestrians.
- 5.5.2 The existing boundary with Cefn Glas properties along the eastern perimeter, being the grassed embankment will be retained and enhanced with bolstered hedgerows and close-boarded fencing where appropriate.
- 5.5.3 The proposed surface water attenuation scheme to the edge of the site will be conspicuously landscaped with hedgerows and new tree planting within and about its form. A new native species hedgerow will be form across the site frontage with the Western Crescent carriageway.
- 5.5.4 The landscaping proposals throughout the site will have an emphasis on “greening up” internal estate road with the use of grass verges segregating new carriageways from footways.

6.0 ACCESSIBILITY

- 6.1 All-inclusive design issues identified have been addressed in compliance with the requirements of the **Disability Rights Commission Code of Practice “Rights of Access: Services and Premises”** and **Part M of the Building Regulations**, where applicable. Thereafter full compliance will be maintained in perpetuity.
- 6.2 The proposed house and bungalow development is sited over gently undulating to sloping ground, with no proposed differences in ground level from the residential plots to the new estate road highways. Vehicular driveways and estate road footways can be significantly wide and level to allow use by all users regardless of mobility.
- 6.3 The development proposal will ensure, wherever possible, that the maximum gradient of driveways and footways to building entrances will be as level as possible, but certainly no more than 1:20, and compliant with Part M of the Building Regulations. Non-slip pathways and laid to a minimum width of 1000mm.
- a) Car parking spaces to all dwelling driveways will be surfaced firm and level. Every effort will be made to ensure proposed parking facilities are well lit for all users from adjacent street lighting.
 - b) Hard and soft landscaping of garden and amenity areas will be wheelchair friendly and capable of access for all.
- 6.4 The dwellinghouses will be a mix of single and two-storey and the following will apply to all house types:
- a) If required, access to an external doorway will be made available via a short, shallow ramp. It is unlikely due to the site topography that handrails will be required as accompanying features on the above ramps. Ramps will be flush with door openings and surrounding ground level wherever possible.
 - b) Both external doorways will be in compliance with Part M of the Buildings Regulations. The entrances shall be clearly identifiable to all users.
 - c) All internal doors will be a minimum of 800mm to comply with Part M of the Building Regulations, with sufficiently a sized turning circle, within ground floor hallways, being a minimum 1200mm diameter allowing for wheelchair manoeuvrability.

7.0 COMMUNITY SAFETY

- 7.1 The proposals will allow the properties to be publicly viewed from the adjacent public highway at Cefn Glas and Western Crescent and proposed-adopted estate road highway. Furthermore, the degree of separation between the built form and boundaries of the site will be retained. This ensures that a healthy degree of natural sunlight will flourish. The proposed site layout extract at Figure 17 below indicates that a healthy habitable distance is maintained between existing properties at Cefn Glas and the nearest properties falling to a common eastern boundary with the site.



Figure 17 – Detailed View of the Eastern Part of the Site and Sense of Openness to Cefn Glas Properties Created by the Retention of Drainage Easement Zone

- 7.2 The complete lack of overbearance between neighbouring existing and proposed properties, and those new houses and bungalows within the site itself will be fully exhibited. A sense of natural surveillance will be actively promoted, as illustrated above, where a sense of openness to the adjacent estate road carriageway is clearly apparent.

8.0 ENVIRONMENTAL SUSTAINABILITY

- 8.1 The proposals will allow for residents and visitors to continue to access the site by means of transport other than the private motor car.
- 8.2 Accessing the site by foot or cycle will still be available, following the completion of the dwellinghouses and apartments, as is the availability to travel to the site by public bus, given the site's location near a regular a bus route.
- 8.3 The site at lies within two minutes' walking distance of public bus stops at Gwent Way with services about Tredegar.
- 8.4 The rural roads north and west of Tredegar offer opportunities for cycling, and particularly inter-connection with National Cycle Routes. Figure 18 below is an extract from the website "Travel Time" and indicates a 30 minutes' cycling distance from Cefn Glas. Such a ride would take a rider along the entire Heads of the Valleys corridor to Brynmawr, and south to New Tredegar.

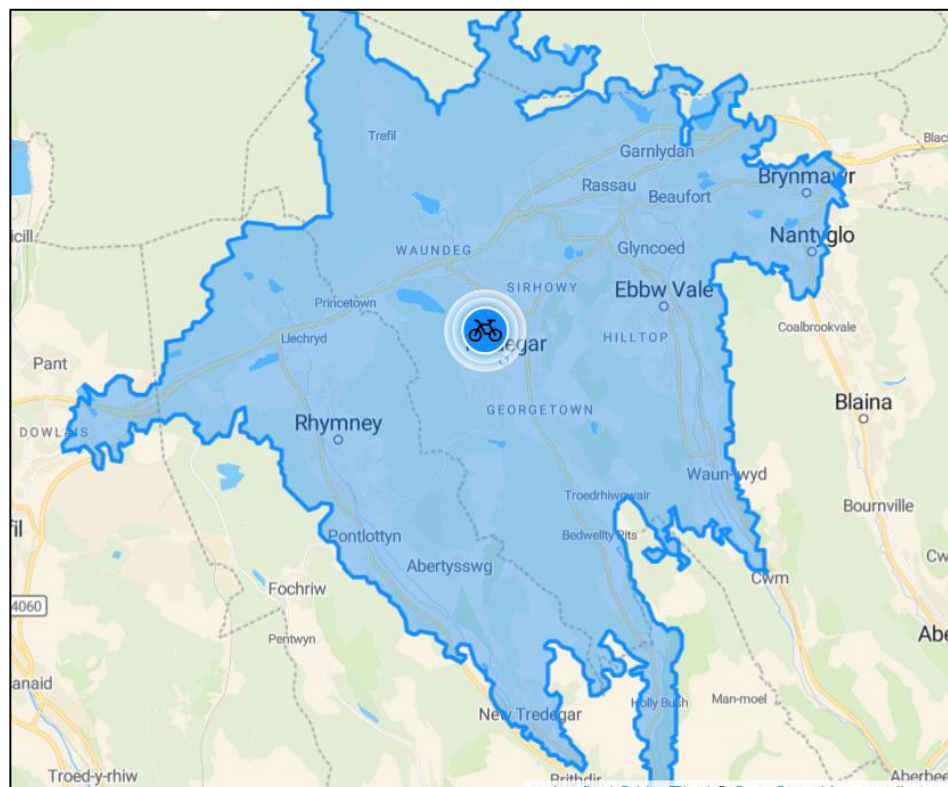


Figure 18 – 30 minutes' Cycling Distance from Cefn Glas

- 8.5 The Site lies within an easy walking distance of Glanhowy Primary School, local convenience shops, public houses, community hall, sports and playing fields. Indeed, Travel Time Mapping indicates that a 20 minutes' walk from the site, takes a resident to all parts of Tredegar as shown below at Figure 19.

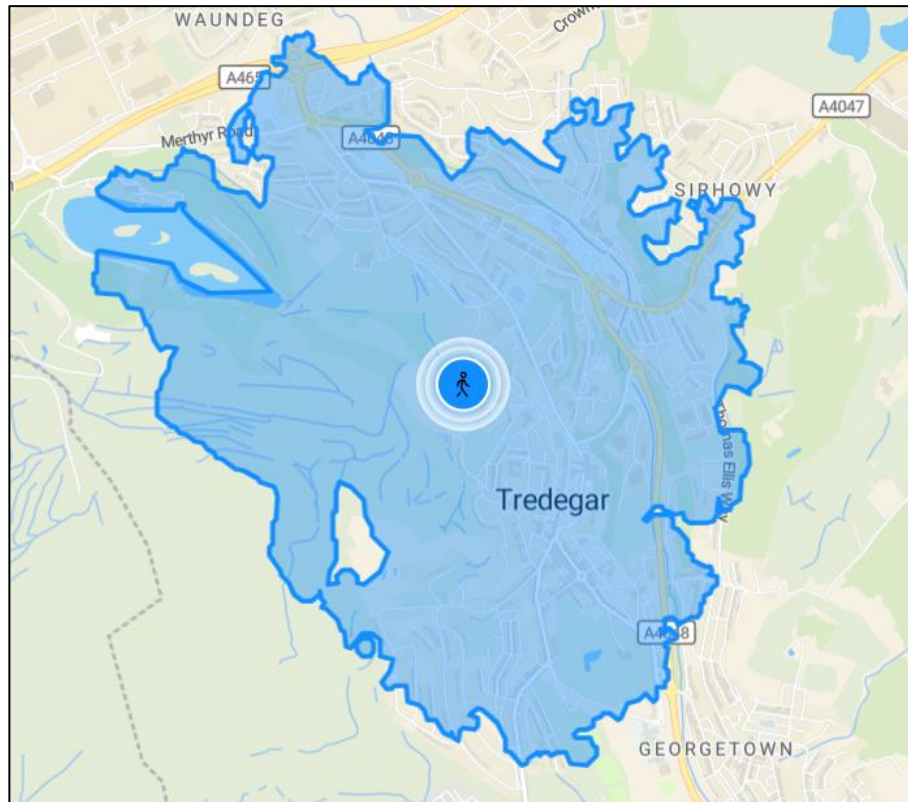


Figure 19 – 20 minutes Walking Distance from the Application Site

9.0 MOVEMENT

- 9.1 The proposals will allow for uses, be that residents, delivery operatives or general visitors to freely access all available parts of the development, with each house and bungalow being fully incorporated into the internal mechanics of the site. The development proposed has been designed to illustrate for change, whilst ensuring that all movement outside and within the buildings are free from obstruction or hindrance.
- 9.2 The submitted proposals illustrate for a safe and effective vehicular access off the Cefn Glas estate road, with the proposed scheme introducing pedestrian facilities along the stretch of extended highway. The internal estate road layout will also provide residents and visitors with a complete adoptable carriageway and footways, allowing for safe vehicle passage and complete pedestrian segregation.
- 9.3 The level of car parking at the site will ensure that there is sufficient off-street parking for residents within the curtilage of each house and bungalow. The applicants' focus will also be to ensure that a proportion of parking is retained at corresponding levels with that of each respective property, thereby providing easy passage for all users regardless of mobility.

10.0 CONCLUSION

- 10.1 This Statement has examined the attributes of this site in relation to Local Planning Policy and also its proximity to existing, neighbouring residential development and the ground contours. Existing physical conditions will dictate the development of the site, and the placing of residential development.
- 10.2 The proposed site layout seeks to promote and enhance the development as a complimentary reflection, yet improvement of the residential estate located at Cefn Glas, and which respects the scale parameters of the streetscene, with a mix of bungalows and two-storey housing.
- 10.3 The resultant site layout allows for complementary standards of development footprints and levels of amenity space within each house plot. The scheme seeks to ensure a satisfactory level of privacy and lack of overbearance on neighbouring residents and those new occupants within the scheme.
- 10.4 The scheme proposes **100% Affordable Housing over a scheme of 44 units**, in excess that required under LDP Policy and with a total of 10 of those proposed units lying outside but immediately adjoining limits, as compliant with Policy DM8. The proposed scheme is offering a broad range of house and bungalow types, and with tenures balanced in favour of social rented units. **The density of development at 22 units per hectare is complementary with LDP Policy.**
- 10.5 This Statement has illustrated that the proposals meet the objectives of good design as listed within Technical Advice Note (TAN) 12, together with the underlying policies of the Blaenau Gwent Local Development Plan.
- 10.6 The proposal is a legible development, well designed to integrate comfortably into its surroundings, and; is freely accessible to all users.
- 10.7 The proposals will assist in meeting the Local Housing Authority policy objectives, demand and needs to provide Affordable Housing into Tredegar and the local community. In doing so, the proposals also meet the local housing land supply identified in the Blaenau Gwent Local Development Plan.