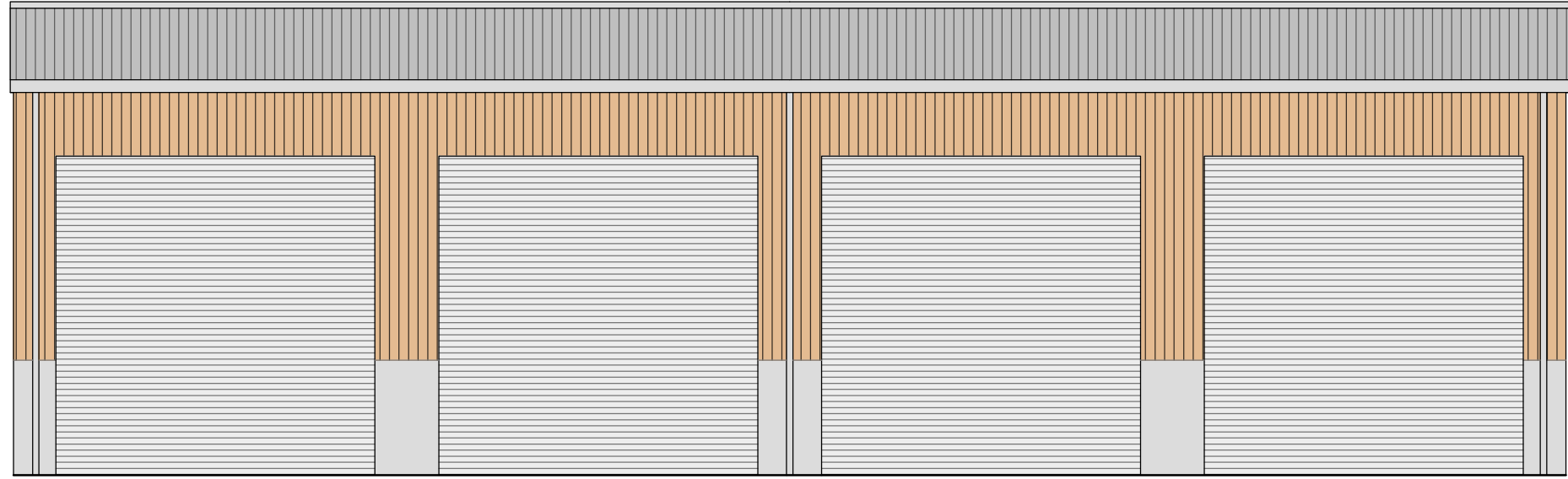


Provide Solar PV Panels to roof covering.



Proposed Elevation (NE).

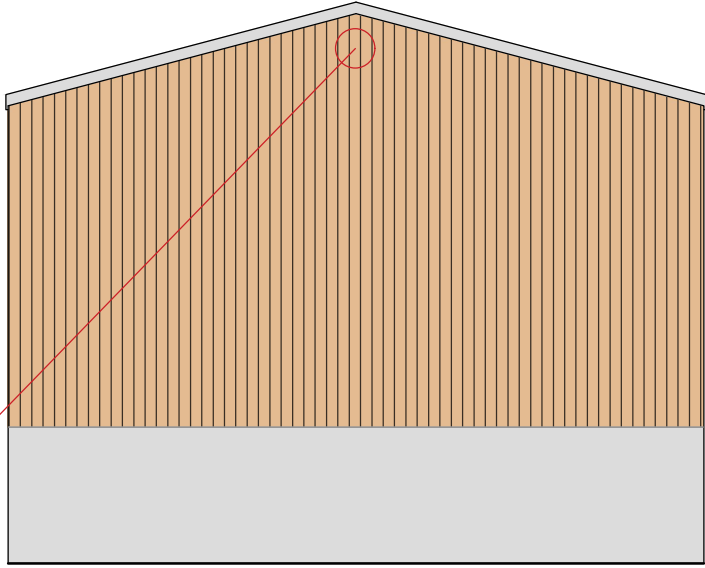
Ecological enhancement suggestion;

Below to be implemented within 1 month of beneficial use of the building.

Beaumaris Woodstone Bat Box to be installed at high level (minimum 3-7m from ground level) below eaves to the NW elevation of the building.

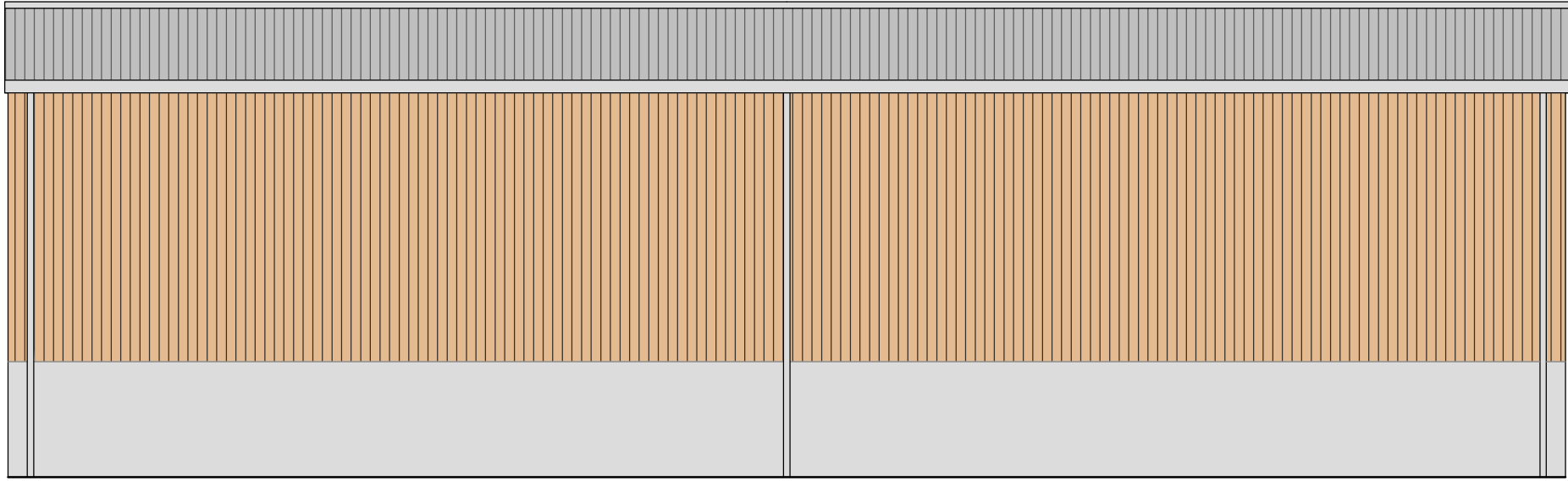


Specification Midi:
* Height: 39cm
* Width: 29cm
* Depth: 6cm
* Weight: 4.4kg



Proposed Elevation (NW).

Provide Solar PV Panels to roof covering.

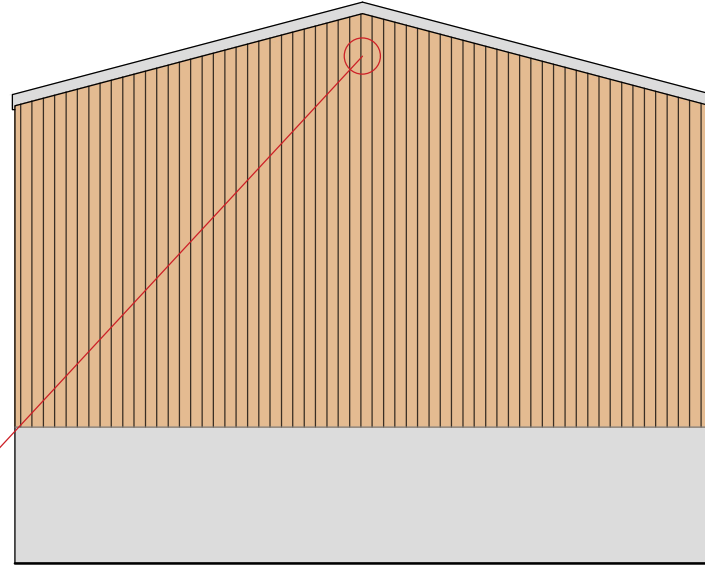


Proposed Elevation (SW).

Ecological enhancement suggestion;

Below to be implemented within 1 month of beneficial use of the building.

1 no. Schwegler 1MR Bird Box to be installed at high level below eaves to the SE elevation of the building.



Proposed Elevation (SE).

ALL PLANS TO BE READ IN CONJUNCTION WITH ALL THE INFORMATION ACCOMPANYING THE RELEASE OF DOCUMENTATION SCHEDULE.

IT IS THE RESPONSIBILITY OF THE CLIENT/CONTRACTOR TO ENSURE THE NECESSARY SAB APPLICATION PROCESS & PROCEDURES HAVE BEEN FOLLOWED WHERE APPLICABLE TO DEVELOPMENT AREAS (OVER 100M²). THESE PLANS HAVE NOT RECEIVED SAB APPROVAL.

IT IS THE RESPONSIBILITY OF THE CLIENT/CONTRACTOR TO LOCATE ALL SERVICES ON SITE PRIOR TO COMMENCEMENT OF WORKS. WE HAVE NOT CHECKED LOCATION OR AVAILABILITY OF EXISTING SERVICES FOR THE PROPOSED WORKS.

IT IS THE RESPONSIBILITY OF THE CLIENT/CONTRACTOR TO ENSURE THE NECESSARY PARTY WALL ACT PROCEDURES HAVE BEEN FOLLOWED WHERE APPLICABLE.

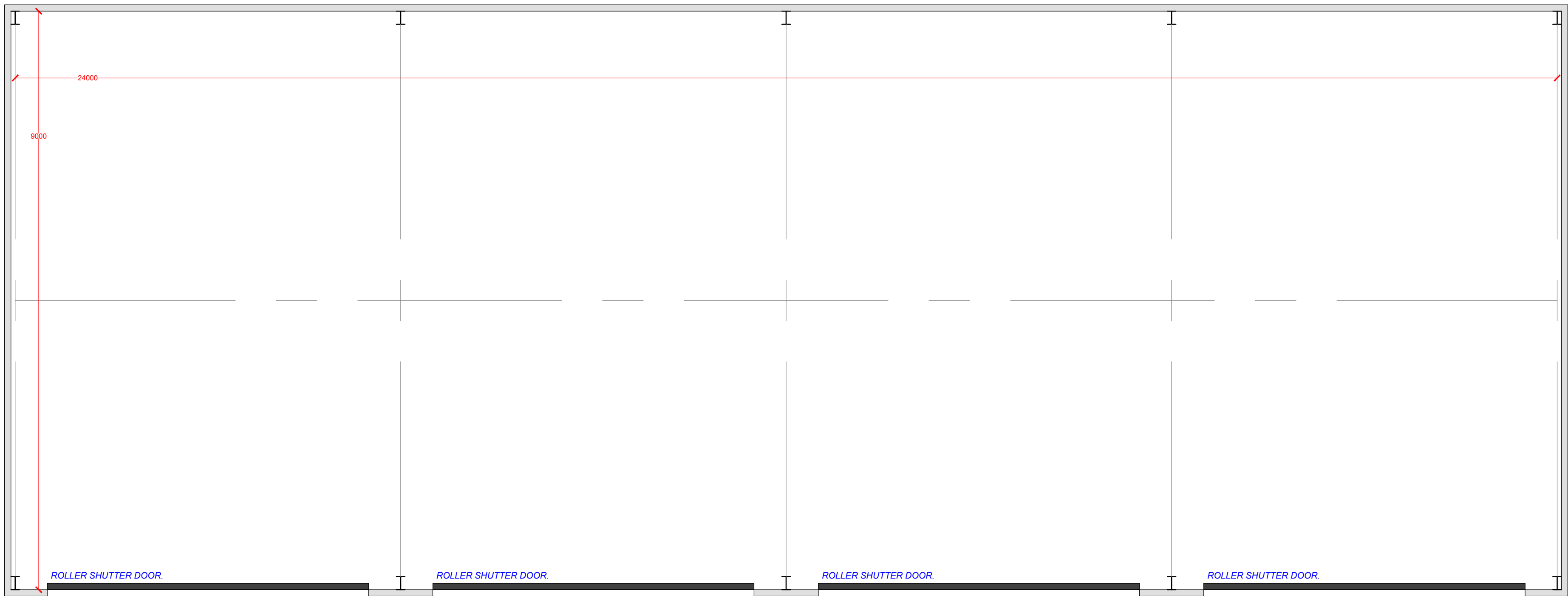
CONSTRUCTION CLIENTS HAVE LEGAL DUTIES UNDER THE CDM REGULATIONS 2015. PLEASE CHECK YOUR DUTIES ON THE HSE WEBSITE OR CONSULT A COMPETENT HEALTH & SAFETY PROFESSIONAL.

TIMBER FRAMES POSE AN ADDITIONAL FIRE RISK UNTIL THE PANELS ARE COMPLETE & PROTECTED BY INTERNAL FIRE RESISTANT PLASTERBOARD & EXTERNAL CLADDING. CONTRACTORS / PRINCIPAL CONTRACTORS SHOULD ENSURE THEIR CONSTRUCTION PHASE PLAN INCLUDES MEASURES TO CONTROL THE ADDITIONAL FIRE RISKS TO THEIR WORKERS & TO OTHERS, INCLUDING NEIGHBOURING PROPERTIES, DURING THE CONSTRUCTION PHASE.

EXACT BOUNDARY POSITIONS & DETAILS TO BE DETERMINED ON SITE FROM DEED PLANS/LAND REGISTRY DATA & NOT SCALED FROM THESE PLANS. THIS IS NOT A CONVEYANCING DRAWING.

Regulation 14, Section 42 of the Flood & Water Management Act 2010 - Transfer of private sewer and lateral drainage to Welsh Water - Scheme proposals may be subject to Welsh Water agreements / legislation. It is the responsibility of the client/contractor to ensure Welsh Water are consulted prior to commencement of works.

Further information is available at www.dwrccymru.com or mbstsa@dwrcymru.com



Proposed Ground Floor Plan - Unit B.



Plans have not received Building Regulations consent & should not be used for construction purposes.

D		
C		
B		
A		
REV	DESCRIPTION	DATE

DR Design

Architectural Services
Davies Richards Design Ltd.
Phone - 07903 924073

E-MAIL - info@daviesrichardsdesign.com
WEB - www.daviesrichardsdesign.com

CLIENT :
Mr. & Mrs. Butler.

JOB TITLE :
*Proposed units/works at;
A.J. Butler Ltd.,
Marcholws,
Peniel,
Carmarthenshire,
SA32 7AA.*

DRAWING TITLE :
*Unit B
Proposed Plans & Elevations.*

DRAWING STATUS :
Planning.

Original paper size - A1
SCALE : *1:50 & 1:100.*

DRAWN BY : *G.R.R.* DATE : *Jan. '26.*

PLAN No <i>2073-03</i>	REVISION
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DO NOT USE FOR CONVEYANCING PURPOSES