



## **PLANNING DESIGN & ACCESS STATEMENT**

**Erection of Replacement and New Buildings for Use for  
Agriculture and an Existing Farm Diversification Business (Land  
Management) with Associated Drainage Works  
at Marcholws, Peniel, Carmarthen, SA32 7AA**

**On Behalf of  
Mr and Mrs Butler**

**Our Ref:** 1893.a  
**Date:** May 2026  
**Prepared by:** Shannon Stone

**Approved by:** Jason Evans

---

**Table of Contents**

|            |                                                            |           |
|------------|------------------------------------------------------------|-----------|
| <b>1.0</b> | <b>INTRODUCTION .....</b>                                  | <b>3</b>  |
| <b>2.0</b> | <b>SITE ANALYSIS AND CONTEXT .....</b>                     | <b>4</b>  |
| <b>2.1</b> | <b>SITE ANALYSIS.....</b>                                  | <b>4</b>  |
| <b>2.2</b> | <b>THE SURROUNDING AREA.....</b>                           | <b>7</b>  |
| <b>2.3</b> | <b>PROJECT DESIGN PARAMETERS AND PRINCIPLES .....</b>      | <b>11</b> |
| <b>3.0</b> | <b>THE PROPOSED DEVELOPMENT.....</b>                       | <b>12</b> |
| <b>3.1</b> | <b>PROJECT OVERVIEW .....</b>                              | <b>12</b> |
| <b>3.2</b> | <b>GENERAL SCALE AND SITING .....</b>                      | <b>13</b> |
| <b>3.3</b> | <b>UNIT A – OFFICE BUILDING.....</b>                       | <b>14</b> |
| <b>3.4</b> | <b>UNIT B – GENERAL AGRICULTURAL STORAGE BUILDING.....</b> | <b>16</b> |
| <b>3.5</b> | <b>UNIT C – PLANT ROOM .....</b>                           | <b>18</b> |
| <b>3.6</b> | <b>DRAINAGE .....</b>                                      | <b>19</b> |
| <b>3.7</b> | <b>BIODIVERSITY .....</b>                                  | <b>20</b> |
| <b>3.8</b> | <b>RETAINED UNIT .....</b>                                 | <b>20</b> |
| <b>4.0</b> | <b>PLANNING POLICY.....</b>                                | <b>21</b> |
| <b>4.1</b> | <b>NATIONAL PLANNING POLICY .....</b>                      | <b>21</b> |
| <b>4.2</b> | <b>LOCAL PLANNING POLICY.....</b>                          | <b>23</b> |
| <b>5.0</b> | <b>ACCESSIBILITY .....</b>                                 | <b>36</b> |
| <b>5.1</b> | <b>MOVEMENT TO, FROM AND WITHIN THE DEVELOPMENT .....</b>  | <b>36</b> |
| <b>6.0</b> | <b>CHARACTER .....</b>                                     | <b>38</b> |
| <b>6.1</b> | <b>LANDSCAPE DESIGN.....</b>                               | <b>38</b> |
| <b>6.2</b> | <b>SCALE.....</b>                                          | <b>38</b> |
| <b>6.3</b> | <b>LAYOUT OF DEVELOPMENT.....</b>                          | <b>38</b> |
| <b>6.4</b> | <b>APPEARANCE .....</b>                                    | <b>38</b> |
| <b>7.0</b> | <b>COMMUNITY SAFETY.....</b>                               | <b>40</b> |
| <b>8.0</b> | <b>ENVIRONMENTAL SUSTAINABILITY .....</b>                  | <b>41</b> |
| <b>8.1</b> | <b>LANDSCAPING .....</b>                                   | <b>41</b> |
| <b>8.2</b> | <b>BIODIVERSITY AND LOCAL ENVIRONMENT.....</b>             | <b>41</b> |
| <b>8.3</b> | <b>ENERGY EFFICIENCY/CARBON REDUCTION.....</b>             | <b>41</b> |
| <b>8.4</b> | <b>WATER AND WASTE MANAGEMENT .....</b>                    | <b>42</b> |
| <b>9.0</b> | <b>CONCLUSION .....</b>                                    | <b>43</b> |

## 1.0 INTRODUCTION

- 1.1 Evans Banks Planning has been instructed by Mr and Mrs Butler (the Applicants) to seek full planning permission for the “*Erection of Replacement and New Buildings for Use for Agriculture and an Existing Farm Diversification Business (Land Management) with Associated Drainage Works*” at Marcholws, Peniel, Carmarthen, SA32 7AA.
- 1.3 This Planning Design & Access Statement has been compiled under the provisions of Technical Advice Note (TAN) 12 “Design” (2014) and the Town & Country Planning (GDPO) (Amendment) (Wales) Order 2009, No. 1024: Design and Access Statements: Wales. It has been prepared as part of the planning application, and its contents should be read in conjunction with the submitted plans. It has been prepared on the basis of the nature and type of the above proposal, and the proposed scheme has been assessed against the following key areas, as well as the site’s context:
- Character
  - Local Development Plan Policies
  - Environmental Sustainability
  - Movement to, from and within the development

## 2.0 SITE ANALYSIS AND CONTEXT

### 2.1 SITE ANALYSIS

- 2.1.1 The application site is situated within the established agricultural holding known as Marcholws, located at Peniel. The agricultural holding is an **established sheep enterprise** supporting a flock of around **500 sheep** and extends to approximately **70 acres**. The agricultural enterprise requires appropriate facilities for the storage of machinery, equipment and general agricultural supplies necessary for its efficient day-to-day management. Figure 1 below illustrates the location of the application site.



Figure 1

- 2.1.2 In addition, **the Applicants operate a farm diversification business specialising in land management**. This enterprise has evolved from the use of machinery and equipment originally acquired for the agricultural holding, which continues to be used in connection with the day-to-day operation and management of the farm, but is also now utilised as part of the Applicants' wider land management business.

- 2.1.3 The farm diversification business **provides land management services to local farmers, landowners and public sector bodies** (such as NRW and DC/WW), and includes vegetation clearance works. Vegetation arising from these operations is brought back to Marcholws and, where sufficient volumes arise, is processed on site into **biomass fuel**, within an existing building and sold off site. This activity is undertaken intermittently and **typically occurs for approximately one day per month**, as and when sufficient material is available for processing.
- 2.1.4 The holding comprises a mixture of natural and semi-improved grassland, with sheep grazing intended as the principal means of managing the former. Access to the site is obtained via a private farm track, which leads to an existing area of hardstanding within the farmstead. This hardstanding provides adequate space for agricultural vehicles to manoeuvre safely and efficiently between the existing agricultural buildings. Photograph 1 below shows the access track as viewed from the existing hardstanding area.



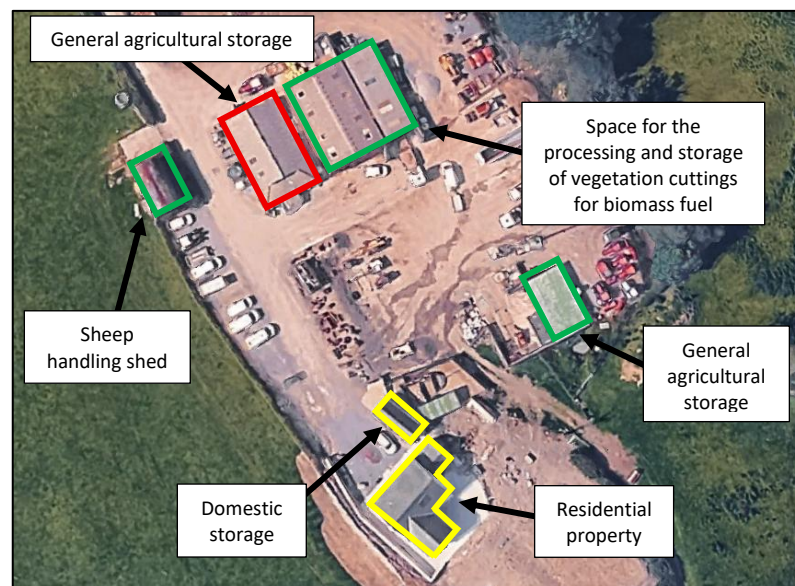
**Photograph 1**

- 2.1.5 The agricultural outbuilding shown to the left in Photograph 1 forms an integral part of the existing sheep handling system and is already served by an area of hardstanding immediately adjacent to it. This existing hardstanding is currently used for sheep handling activities.
- 2.1.6 The Authority confirmed on 7 March 2026 that the provision of a sheep handling area and associated hardstanding at Marcholws was deemed permitted development (application reference **PL/10501**), following recognition that the

existing sheep handling arrangements were no longer of sufficient scale to meet the operational requirements of the holding. The approved hardstanding extends the existing surfaced area and will operate in conjunction with the adjoining outbuilding to support the safe and efficient gathering, sorting and handling of sheep and lambs. This includes preparation for market, together with routine tasks such as dosing, inspection and general flock management.

2.1.7 The Authority confirmed on 7 March 2026 for the construction of an additional agricultural outbuilding within the farmstead was deemed permitted development (application reference **PL/10502**). This building is intended to provide secure and weather-protected storage for modern agricultural machinery, equipment and supplies required for the day-to-day operation of the holding. The provision of this additional outbuilding is essential to support the efficient management of the established agricultural enterprise and to ensure that equipment and materials can be stored safely, securely and in an appropriate manner.

2.1.8 Figure 2 below presents a Google Earth satellite image of the site, identifying the existing agricultural buildings to be retained as part of the proposal (outlined in **green**), the existing building proposed for demolition due to its poor and deteriorating condition (outlined in **red**), and the location of the farmhouse (outlined in **yellow**).



**Figure 2**

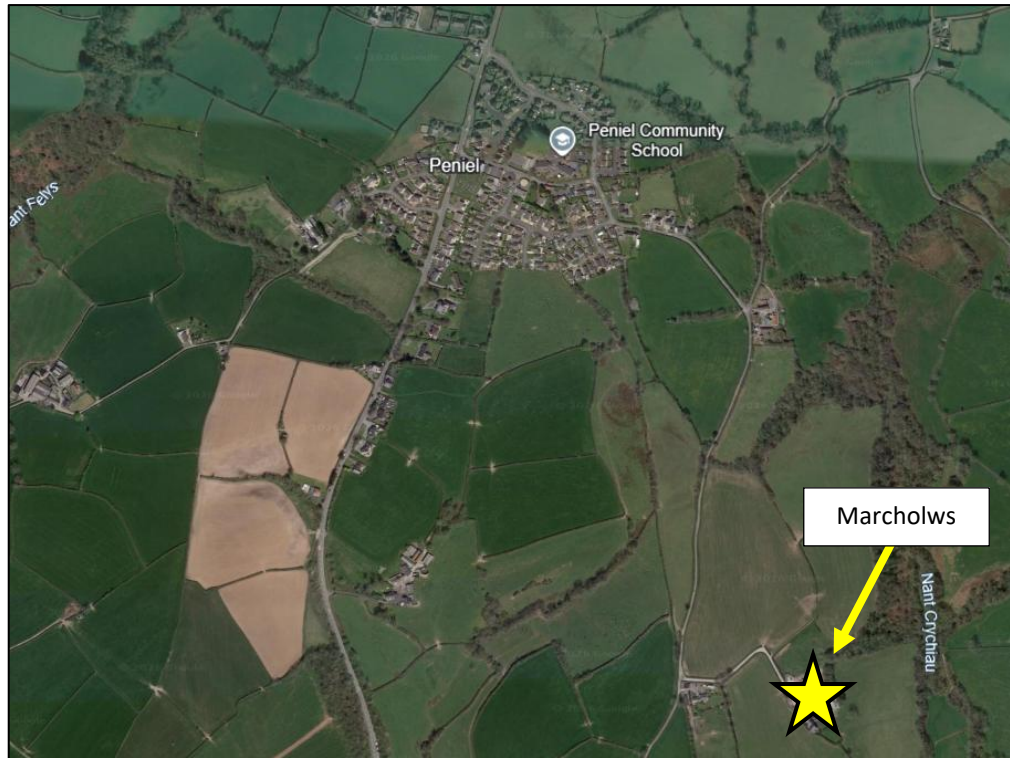
- 2.1.9 As indicated by Figure 2 above, the site contains an agricultural outbuilding which is in a poor and deteriorating condition and is **no longer fit for purpose in meeting modern agricultural needs**. It is therefore proposed for demolition as part of this development. Photograph 2 below depicts a view of this outbuilding.



**Photograph 2**

## **2.2 THE SURROUNDING AREA**

- 2.2.1 The application site is situated off the eastern flank of the C2048 which connects Abergwili to Peniel. Figure 3 below presents a Google Earth aerial image showing the location of the application site (circled yellow) and the surrounding area.



**Figure 3**

2.2.2 As shown in Figure 2, the application site is surrounded by agricultural land, with the closest residential dwelling situated more than 150 metres west of the application site.

2.1.10 The visibility splay at the site access is excellent in both directions, affording a high standard of forward visibility for vehicles entering and leaving the holding. Photographs 3 and 4 depict Google Streetview images which show the access point to the site.



**Photograph 3**



**Photograph 4**

2.1.11 As shown, **the northern side of the access incorporates a gentle bend and a widened section of carriageway**, enabling large agricultural and delivery vehicles to manoeuvre safely and efficiently when accessing or exiting the site. Importantly, **all large vehicles associated with the holding are subject to strict management arrangements requiring access to and from the site via Peniel**. This ensures that such vehicles utilise the widened section of road, thereby facilitating safe manoeuvring and maintaining highway safety.

2.1.12 Figure 4 below illustrates the landholding plan for Marcholws, showing the full extent of the agricultural holding.

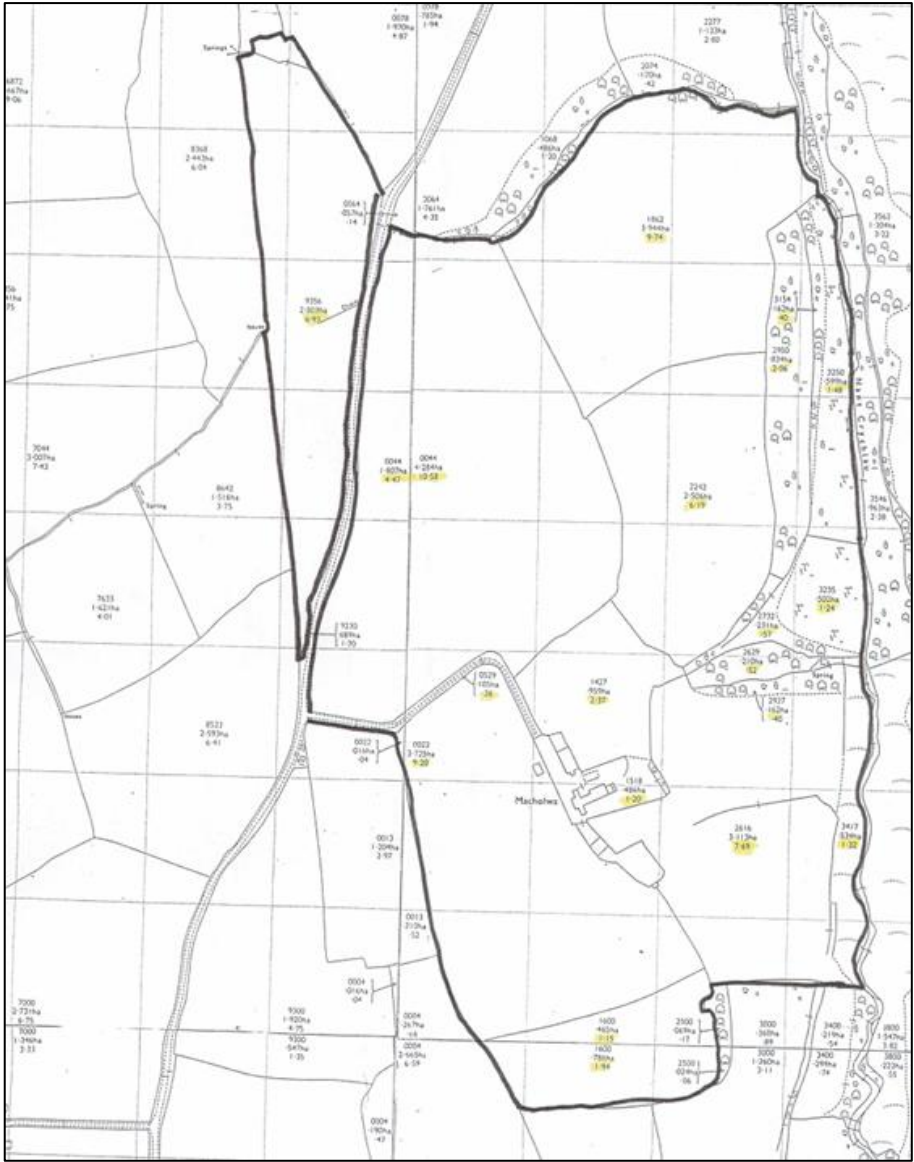


Figure 4

## 2.3 PROJECT DESIGN PARAMETERS AND PRINCIPLES

2.3.1 As a result of the local context and the aspirations of the Applicant of the scheme, the following design principles and parameters have influenced the design of the proposal subject of this planning application:

- **Scale** – The proposed buildings are agricultural in scale and form, reflecting their functional purpose whilst remaining proportionate to the existing farmstead. The scale of the units has been carefully considered to ensure they remain consistent with the proportions of the existing agricultural buildings at Marcholws.
- **Layout** – The layout has been guided by the established pattern of development within the existing farmstead, with all proposed buildings positioned within the existing cluster of agricultural structures and adjacent to the established area of hardstanding to ensure a logical and efficient arrangement.
- **Access** – The proposed development benefits from direct access via the existing farm access and internal yard, allowing safe and efficient movement of agricultural vehicles, machinery and staff throughout the site without requiring significant alterations to the existing access arrangements.
- **Design** – The buildings adopt a simple and functional agricultural design, utilising durable materials appropriate to their rural setting to ensure a cohesive appearance alongside the existing farm buildings.
- **Biodiversity** – The proposal incorporates opportunities for biodiversity enhancement across the wider site, including the installation of bird and bat boxes to provide ecological benefit and support local biodiversity.

## 3.0 THE PROPOSED DEVELOPMENT

### 3.1 PROJECT OVERVIEW

3.1.1 The proposal seeks full planning permission for the erection of replacement and new buildings for use in connection with agriculture and a **farm diversification business** (land management) at Marcholws, Peniel, Carmarthen, SA32 7AA. The development comprises three purpose-built units, which are as follows:

- **Unit A:** a mixed-use building incorporating office space together with storage space for machinery, equipment and supplies associated with the operation of the agricultural holding and the land management business;
- **Unit B:** a general agricultural storage building; and
- **Unit C:** a plant room.

3.1.2 The proposed development is required to **support both the established agricultural enterprise at Marcholws and the Applicants' farm diversification business**, which specialises in land management.

3.1.3 The Applicants' farm diversification business provides land management services to predominantly local farmers, local landowners and public sector bodies such as Natural Resources Wales. In doing so, **the business plays an important role in supporting the local rural economy** by providing specialist rural contracting and land management services that assist in the ongoing management, maintenance and productivity of agricultural land and the wider countryside. This not only supports the operational needs of surrounding rural businesses and landholdings, but also helps sustain local employment, retain rural skills and strengthen the resilience and long-term viability of the local agricultural economy.

3.1.4 Specifically, the Applicants currently **employ 15 members of staff, all of whom operate across local sites in connection with the land management business and are not based at the application site**. Accordingly, the proposed units will be used solely by the Applicants for the purposes of administration, storage and operational management.

3.1.5 The proposal represents a logical and necessary expansion of the existing farmstead, providing the buildings and facilities required to support the continued operation, diversification and long-term resilience of the agricultural holding. It will ensure that machinery, equipment and supplies can be stored securely and

appropriately, whilst also providing the necessary office space and supporting infrastructure to facilitate the efficient day-to-day management of the business.

### 3.2 GENERAL SCALE AND SITING

3.2.1 The scale and siting of the proposed development have been carefully considered in the context of the existing farmstead and its established pattern of development. The proposed buildings are designed to reflect the functional requirements of the agricultural holding and associated land management enterprise, while **remaining consistent with the scale, form and character of the existing agricultural buildings at Marcholws**. This ensures the development is proportionate, contextually appropriate and appropriately integrated within its rural setting.

3.2.2 Figure 5 below depicts the proposed block plan.

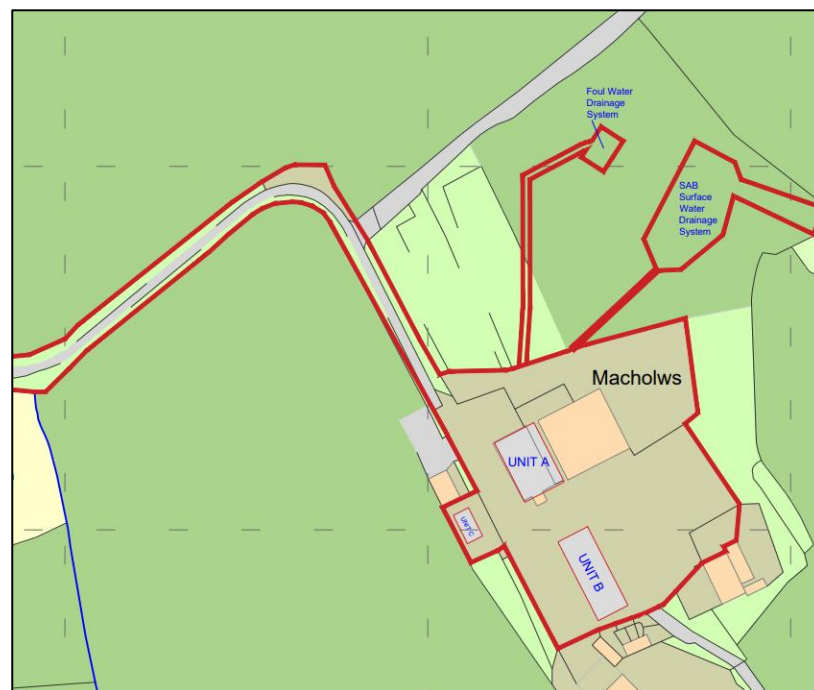


Figure 5

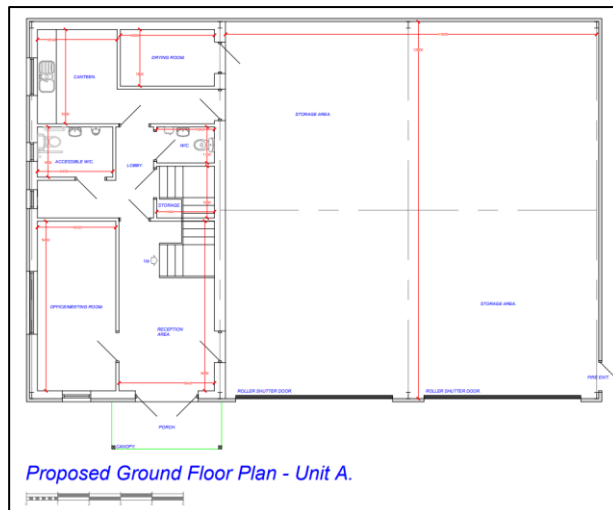
3.2.3 The proposed buildings are sited within the existing cluster of agricultural development at the farmstead, immediately adjacent to the established built form and in close association with the existing agricultural buildings. **Their placement has been carefully arranged to focus development within the existing farmyard grouping, rather than extending built form unnecessarily into the**

**open countryside.** This approach ensures that the proposal reads as a logical and cohesive extension of the established farmstead.

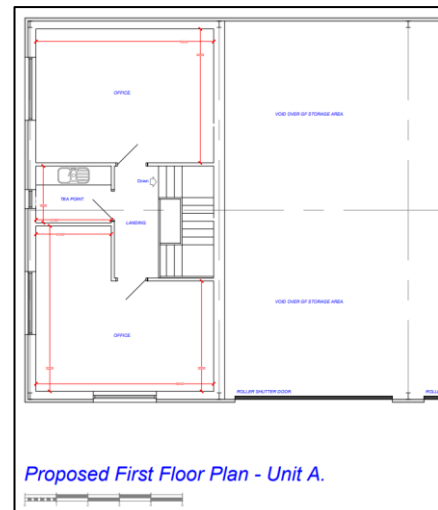
- 3.2.4 All proposed units are positioned adjacent to the existing area of hardstanding, allowing them to integrate efficiently with the operational layout of the holding and ensuring direct access for agricultural vehicles, machinery and day-to-day farm operations. This siting arrangement makes effective use of the existing surfaced area, minimises the need for additional groundworks and allows the proposed buildings to function efficiently in conjunction with the established farmyard infrastructure.
- 3.2.5 The siting of the proposed buildings has also been informed by their relationship to the host dwelling. The units are located at a sufficient distance from the dwelling to ensure that the operational requirements of the agricultural and diversification enterprises can be accommodated **without giving rise to unacceptable impacts on residential amenity.** This separation ensures that the working character of the farmstead is maintained, whilst preserving an appropriate degree of amenity for the occupiers of the dwelling.
- 3.2.6 Overall, the proposed scale and siting represent a considered and appropriate response to the established character and operational needs of the site. By locating the development within the existing farmstead cluster, adjacent to existing hardstanding and alongside the established agricultural buildings, the proposal minimises visual intrusion, avoids unnecessary encroachment into the surrounding countryside and reinforces the coherent and functional layout of the farmstead.

### 3.3 UNIT A – OFFICE BUILDING

- 3.3.1 Unit A will provide dedicated office accommodation to support the day-to-day management and administration of both enterprises, whilst also incorporating storage space for machinery, equipment and supplies associated with the agricultural holding and land management business. Figures 6 and 7 depict the proposed ground floor and first floor plans, respectively.



**Figure 6**



**Figure 7**

3.3.2 As shown, at ground floor level the entrance porch opens directly into a reception area. The ground floor accommodation comprises an office/meeting room, canteen, drying room, small storage area, WC and an accessible WC, providing a functional and practical layout to support the operational needs of the Applicants.

3.3.3 An internal staircase provides access to the first-floor landing, from which two separate office rooms are accessed. A small tea point is also provided at first floor level for convenience.

3.3.4 Importantly, **the office building will be used solely by the Applicants, Mr and Mrs Butler, who will each occupy one of the first-floor office rooms.** The wider workforce associated with the farm diversification (land management) business, comprising **15 members of staff**, will not be based at the application site. Instead, these staff operate across various local sites where land management services are required, with Unit A providing a central administrative base for coordination and management purposes only.

3.3.5 Figures 8 and 9 below illustrate the proposed elevation plans for Unit A.

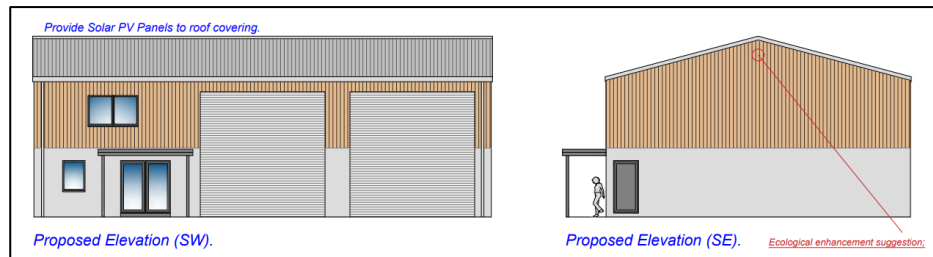


Figure 8

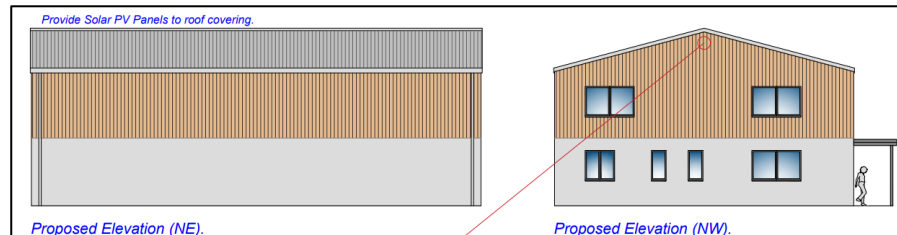


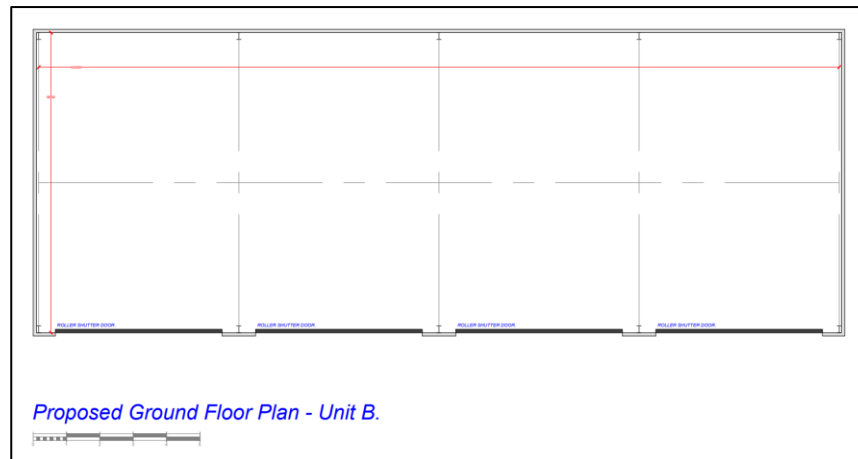
Figure 9

3.3.6 As shown, the proposed office building will be constructed using a steel portal frame and finished with grey corrugated fibre cement roof sheets incorporating PV panels. The external walls will comprise grey concrete plinth panels, with grey/black metal framing to windows and doors, providing a durable agricultural design appropriate to the site context.

3.3.7 The front elevation incorporates a glazed entrance door with an adjacent window at ground floor level and a further window at first floor level, providing natural daylight to key internal areas. In addition, part of the frontage features roller shutter doors, designed to accommodate the movement and storage of machinery, equipment and supplies associated with both the agricultural holding and the farm diversification business. The southeast (side) elevation includes a dedicated fire escape for safe means of egress in accordance with building safety requirements. On the other hand, the northeast (side) elevation does not feature any fenestration or openings. Finally, the rear elevation includes a number of appropriately positioned windows to provide natural daylight to internal spaces.

### 3.4 UNIT B – GENERAL AGRICULTURAL STORAGE BUILDING

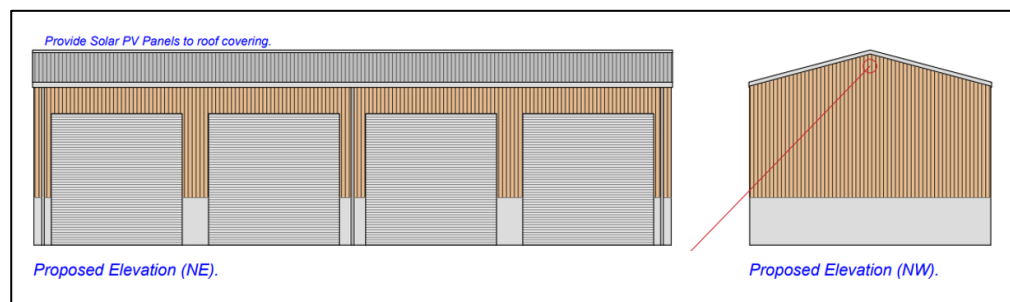
3.4.1 Unit B will provide secure, weather-protected storage for machinery, equipment and supplies required for the efficient day-to-day operation of the holding and associated diversification activities. Figure 10 below illustrates the proposed ground floor plan.



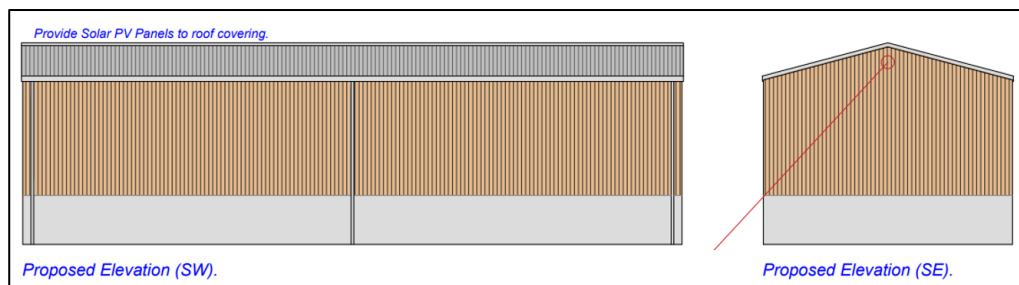
**Figure 10**

3.4.2 As shown, the building is designed as a simple, open-plan internal arrangement, specifically to maximise flexibility for the storage of machinery, equipment and supplies associated with both the agricultural enterprise and diversification business.

3.4.3 Figures 11 and 12 below illustrate the proposed elevation plans for Unit B.



**Figure 11**



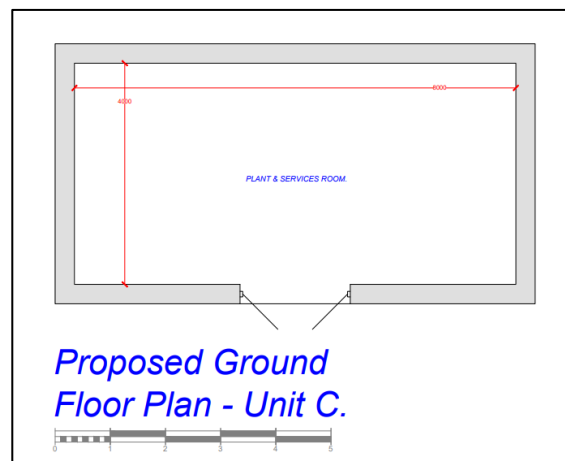
**Figure 12**

3.4.4 As shown, Unit B adopts a simple and functional agricultural form, appropriate to its intended use. The building will be constructed using a steel portal frame with grey concrete plinth panels and finished with grey corrugated fibre cement roof sheets incorporating PV panels, reflecting a durable agricultural design.

3.4.5 The front elevation incorporates four roller shutter doors to facilitate efficient access for agricultural machinery, vehicles and equipment. The remaining elevations are largely blank, with no windows or additional openings, reflecting the building's storage use.

### 3.5 UNIT C – PLANT ROOM

3.5.1 Unit C will serve as a plant room, housing the building services and associated infrastructure necessary to support the efficient operation of the proposed development. Figure 13 depicts the proposed ground floor plan for Unit C.



**Figure 13**

3.5.2 As shown, the space will be open plan in nature and designed solely for functional plant and service equipment.

3.5.3 Figures 14 and 15 below depict the proposed elevation plans for Unit C.

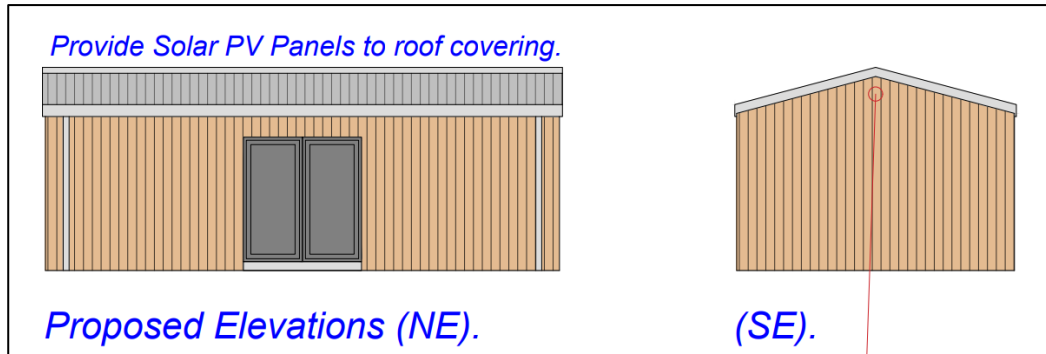


Figure 14

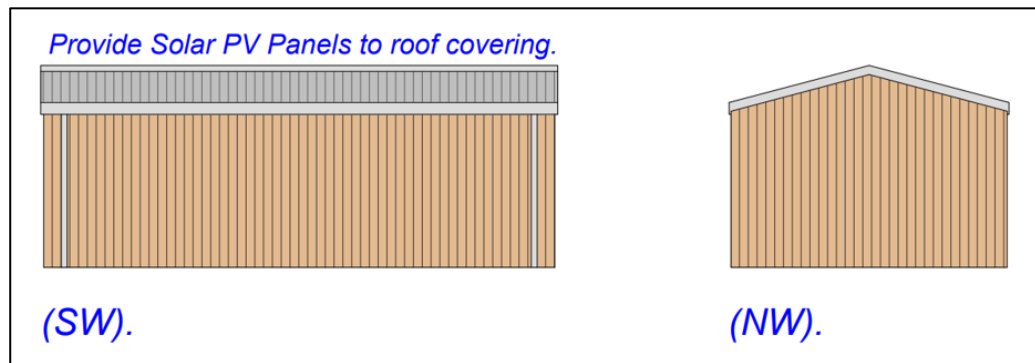


Figure 15

3.5.4 As shown, the building will be constructed using the same materials and finishes as the other proposed units, including a steel portal frame, grey concrete plinth panels and a grey corrugated fibre cement roof incorporating PV panels, ensuring a consistent and coherent design approach across the site.

3.5.5 The elevations will be intentionally simple and largely featureless, with no windows or additional openings proposed, apart from a double-door access on the front elevation. This design approach reflects the building's operational requirements while also minimising visual clutter and maintaining consistency with the wider agricultural character of the site.

### 3.6 DRAINAGE

3.6.1 Unit A will be connected to the existing septic tank located within the application site, whereas Units B and C do not require foul drainage connections. Surface water from the development will be managed via on-site soakaways, designed to ensure effective disposal in accordance with sustainable drainage principles, thereby

avoiding any additional burden on existing public drainage infrastructure and ensuring compliance with relevant planning policy requirements.

### 3.7 BIODIVERSITY

- 3.7.1 In line with wider sustainability and ecological enhancement objectives, the proposal will include the **installation of bat and bird boxes across the site**. These will be positioned strategically to maximise ecological gain, enhancing the site's ecological value in line with national guidance on biodiversity net gain. Further details can be found in the accompanying Green Infrastructure Statement.

### 3.8 RETAINED UNIT

- 3.8.1 Figure 16 below illustrates the location of the existing agricultural storage building to be retained as part of this application. This building will continue to be used for the storage of vegetation and processed biomass fuel (woodchip) prior to its removal from the site.



Figure 16

## 4.0 PLANNING POLICY

### 4.1 NATIONAL PLANNING POLICY

- 4.1.1 The proposal has been prepared in full consideration of the guidance set out in **Planning Policy Wales (Edition 12)**, together with its associated Technical Advice Notes, and **Future Wales: The National Plan 2040**. Policy objectives relating to sustainable development, brownfield redevelopment, housing delivery, and the promotion of town centre vitality have directly informed the design and scope of this proposal.

#### **PLANNING POLICY WALES (PPW) (EDITION 12)**

- 4.1.2 PPW (Edition 12) recognises that the rural economy must develop a broad and adaptable base in order to remain resilient to future challenges. In this context, **PPW emphasises the importance of supporting rural enterprise and farm diversification in order to strengthen the long-term sustainability of rural communities.**
- 4.1.3 Specifically, PPW emphasises that *“many commercial and light manufacturing activities can be located in rural areas without causing unacceptable disturbance or other adverse effects”*. In this regard, PPW stresses that local planning authorities should adopt a positive and supportive approach to rural diversification, **particularly where additional business activity can be sustainably accommodated on existing working farms**. This supports the proposal at Marcholws, which seeks to construct three units at the farmstead to support their land management farm diversification business alongside their agricultural enterprise.
- 4.1.4 The siting of the proposed development in the open countryside is both necessary and fully justified by its direct functional relationship to the established agricultural holding and the Applicants’ associated farm diversification business. The proposed buildings are required to provide storage for machinery, equipment, supplies and operational needs associated with the Applicants’ land management enterprise, as well as the established agricultural holding, which supports approximately 500 sheep. **Accordingly, the development must be located in close proximity to the existing farmstead in order to function effectively and support the day-to-day operation of both enterprises.**

- 4.1.5 PPW confirms that the expansion of existing businesses in the open countryside ***“should be supported where there is no detrimental impact on the environment and local amenity”***. The proposal fully accords with this principle. The units are modest in scale, agricultural in form, and located within the existing cluster of farm buildings at Marcholws adjacent to established hardstanding, ensuring the development remains contained within the existing farmstead and avoids unnecessary encroachment into the wider countryside. In addition, the proposal is not readily visible from the public highway and will not result in adverse visual impacts on the surrounding landscape. It is also positioned at a sufficient distance from the host dwelling and neighbouring properties to avoid unacceptable impacts in terms of noise, disturbance or overlooking, and remains wholly compatible with the established agricultural character of the site.
- 4.1.6 PPW recognises that *“while some employment can be created in rural locations by the re-use of existing buildings, new development will be required in many areas”*. This is the case at Marcholws, where the **existing agricultural outbuildings are of limited suitability and in a poor state of repair, such that they are no longer capable of adequately meeting the operational needs of the holding or the Applicants’ land management business**. The provision of new purpose-built units is therefore necessary to ensure that both enterprises can operate in a safe, efficient and sustainable manner.

**TECHNICAL ADVICE NOTE (TAN) 6: PLANNING FOR SUSTAINABLE RURAL COMMUNITIES  
(JULY 2010)**

- 4.1.7 TAN 6 seeks to provide practical guidance on the role of the planning system in supporting the delivery of sustainable rural communities. In particular, **it recognises the importance of supporting rural enterprise and farm diversification in order to strengthen the rural economy and improve the long-term resilience of agricultural holdings**. In relation to farm diversification, TAN 6 states:

*“Many economic activities can be sustainably located on farms. Small on-farm operations such as food and timber processing and food packing, together with services (e.g. offices, workshop facilities, equipment hire and maintenance), sports and recreation services, and the production of non-food crops and renewable energy, are likely to be appropriate uses.”*

4.1.8 The proposed development fully accords with this principle. The scheme is directly related to the ongoing operation of an established agricultural holding and supports the continued diversification of the enterprise through the provision of units for agricultural storage, machinery, office space and a plant room. The proposed units will **support both the existing farming operation and the Applicants' land management business**, which represents an appropriate and established form of rural enterprise closely linked to the agricultural use of the site.

4.1.9 The proposal therefore reflects the objectives of TAN 6 by supporting the expansion and diversification of a rural business in a sustainable location, enabling the efficient operation of both the agricultural holding and associated land management enterprise. In doing so, the development will contribute positively to the resilience and long-term viability of the rural economy, in full accordance with the aims of national planning policy.

## 4.2 LOCAL PLANNING POLICY

4.2.1 In terms of Section 38(6) of the Planning and Compulsory Purchase Act 2004, the adopted development plan for the area within which the application site is positioned is the *Carmarthenshire Local Development Plan* (LDP). As such, the policies contained within this document have been carefully considered in the preparation of this planning application. The proposal has been assessed with particular reference to the following relevant policies:

- **Policy SP1** – Sustainable Places and Spaces
- **Policy GP1** – Sustainability and High-Quality Design
- **Policy EMP4** – Farm Diversification
- **Policy TR3** – Highways in Developments: Design Considerations
- **Policy EQ4** – Biodiversity

4.2.2 The application site is situated outside of the defined settlement limits of Peniel, as illustrated by Figure 17 below.

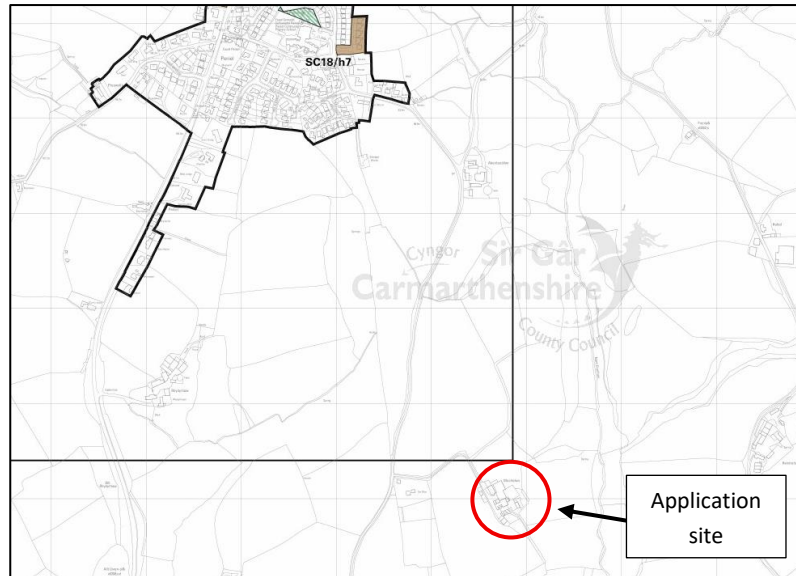


Figure 17

4.2.3 Accordingly, particular attention has been paid to Policies, GP1, EMP4, TR3 and EQ4, which are considered of key relevance to this application. The following sections provide a detailed assessment of the proposal against the specific requirements of these policies.

#### **POLICY GP1 – SUSTAINABILITY AND HIGH-QUALITY DESIGN**

4.2.4 Policy GP1 represents the overarching policy of the LDP document against which all development proposals must be assessed. It contains a series of criteria outlining requirements to be met with respect to a range of topic areas, eight of which are considered to be of particular relevance to this proposal.

4.2.5 *Criterion a)* requires that proposals “conform with and enhance the character and appearance of the site, building or area” in terms of siting, appearance, scale, height, massing, elevation treatment, and detailing. The proposed buildings are of **traditional agricultural design** in scale, form and appearance, and are consistent with the character of the existing farmstead. Their siting within the established cluster of agricultural buildings ensures that **the development reads as a logical extension of the existing farm complex** and does not appear isolated or visually intrusive within the wider countryside. The proposal therefore accords with *Criterion a)*.

- 4.2.6 *Criterion b)* requires development to incorporate existing landscape features and consider site contours and levels. The proposed buildings are located adjacent to the existing hardstanding and within the established operational area of the farmstead, ensuring that **the proposal integrates efficiently with the existing layout of the site**. The development does not require any significant alteration to land levels and does not adversely affect the wider landscape character of the area. The proposal therefore accords with *Criterion b)*.
- 4.2.7 *Criterion c)* requires the use of materials appropriate to the local area. The proposed buildings utilise **traditional agricultural materials**, including steel portal frames, grey concrete plinth panels and grey corrugated fibre cement roof sheets. These materials are appropriate to the agricultural setting and reflect the established appearance of modern rural farm buildings. The proposal therefore accords with *Criterion c)*.
- 4.2.8 *Criterion d)* concerns the amenity of adjacent land uses, properties, and the community. The proposed buildings are directly associated with the existing agricultural holding and the Applicants' farm diversification business and are appropriately sited within the established farmstead, at a sufficient distance from the host dwelling and neighbouring properties to avoid unacceptable amenity impacts. Given the agricultural nature of the proposed use, together with the scale, siting and established relationship of the buildings to the existing farm complex, **the development will not give rise to unacceptable levels of noise, disturbance, overlooking or any other material harm to residential amenity**. The proposal therefore remains compatible with its surrounding rural context and accords with *Criterion d)*.
- 4.2.9 *Criterion e)* supports developments that include a mixture of appropriate uses. The proposal represents a logical and efficient expansion of the existing farmstead, making use of land immediately adjacent to the existing agricultural buildings and hardstanding. It provides the buildings necessary to support the continued operation of the established agricultural holding, whilst also facilitating the ongoing growth of the Applicants' farm diversification business. In doing so, **the proposal not only supports the long-term viability of the existing agricultural enterprise but also contributes to the wider rural economy** by supporting a local land management business that provides essential services to local farms, landowners and public

sector bodies. The development therefore represents an appropriate and efficient use of the site in accordance with *Criterion e*).

4.2.10 *Criterion f*) requires the retention of important local features, the use of appropriate landscaping and embraces opportunities to enhance biodiversity and ecological connectivity. The proposal is located within the existing operational area of the farmstead and will not result in the loss of important ecological features. In addition, biodiversity enhancements will be secured across the wider site, including the **installation of bird and bat boxes**. The proposal therefore accords with *Criterion f*).

4.2.11 *Criterion h*) requires that appropriate access and parking be provided. The development will be served by the existing farm access and internal yard, which provide safe and suitable access for agricultural vehicles, machinery and associated traffic. The proposal therefore accords with *Criterion h*).

4.2.12 *Criterion j*) requires satisfactory provision for foul and surface water disposal. Unit A will connect to the existing septic tank on site, whilst Units B and C do not require foul drainage connections. Surface water will be disposed of via on-site soakaways in accordance with sustainable drainage principles. The proposal therefore accords with *Criterion j*).

4.2.13 Overall, the proposal accords with the relevant criteria of Policy GP1. It represents an appropriate and well-considered form of development that **responds directly to the operational needs of the existing agricultural holding**, supporting its continued efficient management and long-term viability. At the same time, the proposal facilitates the **ongoing growth of the Applicants' farm diversification business**, thereby making a positive contribution to the local rural economy through the support of rural employment, land management services and the wider agricultural sector. The development achieves these benefits without giving rise to unacceptable impacts in respect of visual amenity, residential amenity, access or environmental considerations.

---

#### **POLICY EMP4 – FARM DIVERSIFICATION**

- 4.2.14 Policy EMP4 supports farm diversification proposals where specific criteria are satisfied. The proposed development at Marcholws accords with each element of the policy, as set out below.
- 4.2.15 *Criterion a)* requires that the proposal is “*subordinate to, compatible with and supports the continued operation of the agricultural activity of the existing working farm*”. The proposal fully satisfies this requirement. Marcholws is an established working farm extending to approximately 70 acres and supporting around 500 sheep, which remains the Applicants’ primary enterprise. The proposed development is directly related to the operational needs of that holding and will provide the buildings necessary for agricultural storage, office space and an associated plant room. Importantly, **the machinery, equipment and supplies to be stored within the proposed units will be used in connection with both the existing agricultural enterprise and the Applicants’ farm diversification business.**
- 4.2.16 Whilst the proposal also supports the Applicants’ land management business, that activity remains closely linked to and compatible with the agricultural use of the site. **The land management business operates as a secondary and subordinate diversification enterprise**, which both supports and complements the primary agricultural use of Marcholws. In turn, it provides an additional and more resilient income stream which helps to **strengthen the long-term financial sustainability of the holding**, thereby supporting the continued operation and viability of the existing agricultural enterprise. The diversification element is therefore clearly subordinate to, compatible with and supportive of the continued agricultural use of the farm.
- 4.2.17 *Criterion b)* requires that the proposal is “*of a scale and nature appropriate to the existing farm operation*”. The proposed buildings are modest in scale, agricultural in form and functional in design, and are both **proportionate and necessary to meet the operational needs of the established agricultural holding and the associated land management business.** These requirements cannot be adequately accommodated within the existing structures at the farmstead (some of which will be replaced), which are in a deteriorating condition and no longer provide suitable, secure or weather-protected accommodation. Continued reliance on these

buildings would place expensive agricultural machinery, equipment and supplies at risk of damage and deterioration.

4.2.18 *Criterion c)* requires that the “*scale and nature of the activity is compatible with its accessibility to public transport and the need for local highway improvements*”. The development is located within an established working farm and will utilise the existing farm access and internal hardstanding. The access track is designed to allow large agricultural and delivery vehicles to **safely enter and exit the site in forward gear, with sufficient space within the farmstead to enable vehicles to turn around safely on site**. The northern side of the access incorporates a gentle bend and a widened section of carriageway, enabling large vehicles to manoeuvre safely and efficiently when accessing or exiting the holding.

4.2.19 The Applicants’ land management business has been operating from Marcholws for the past 5 years, during which time there have been **no recorded road safety issues or complaints arising from its use**. This established track record demonstrates that the existing access arrangements are safe and appropriate for the scale of operations undertaken from the site.

4.2.20 Importantly, all large vehicles associated with the holding are **subject to strict management arrangements requiring access to and from the site via Peniel**. This ensures that such vehicles utilise the widened section of road, thereby facilitating safe manoeuvring and maintaining highway safety. The proposal will not result in any material increase in vehicle movements compared to the existing agricultural and land management operations already undertaken from the site. The development comprises additional storage buildings, a plant room and an office, the latter of which will be used solely by the Applicants, who reside at the site. As such, **there will be no intensification of activity or increase in traffic generation beyond the established baseline**. Accordingly, no local highway improvements are required to accommodate the proposed development, and highway safety will continue to be maintained.

4.2.21 *Criterion e)* requires that the proposal does not adversely affect the character, setting or appearance of the area and surrounding landscape. The proposed units are of typical agricultural design and are constructed using materials appropriate to a rural farmstead setting. Thus, their design ensures that they will **integrate well**

**with the existing working farm complex and are not detrimental to the character or appearance of the site or wider landscape.**

4.2.22 Significantly, the proposed units are located within the existing cluster of farm buildings at Marcholws and immediately adjacent to established hardstanding, ensuring a coherent farmyard layout. The development is not readily visible from the public highway or wider surrounding landscape due to its set-back position and integration within existing built form. No changes are proposed to existing boundary treatments, which continue to provide effective screening and definition of the site. As a result, **the proposal reads as a natural and logical extension of the established agricultural complex, avoids encroachment into the wider open countryside, and preserves the overall character and visual amenity of the area.**

4.2.23 Overall, the proposal fully accords with the requirements of Policy EMP4. It represents an appropriate and policy-compliant form of farm diversification that supports the continued operation of the existing agricultural enterprise, facilitates the sustainable growth of the Applicants' land management business, and contributes positively to the resilience of the local rural economy.

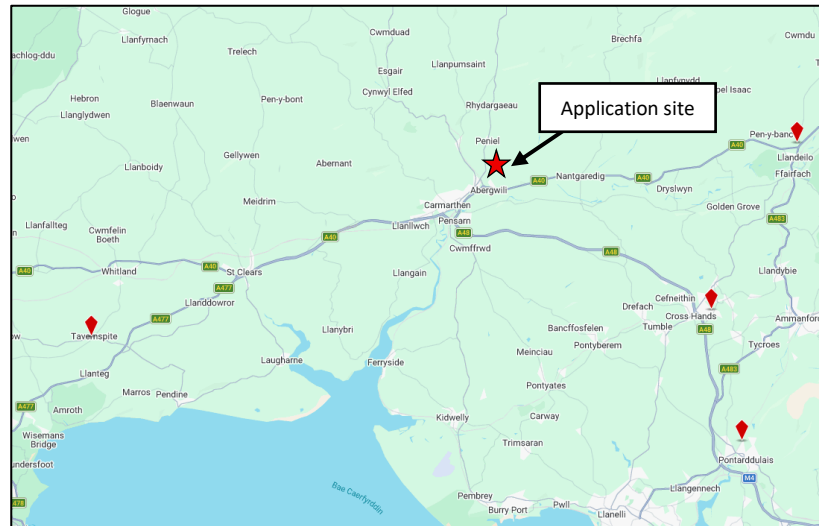
#### **POLICY EMP2 – NEW EMPLOYMENT PROPOSALS**

4.2.24 Whilst Policy EMP2 is not directly applicable to the proposed development, given that the proposal is more appropriately assessed under Policy EMP4 relating to farm diversification, it is nevertheless relevant to demonstrate that the proposal is also consistent with the broader objectives of the LDP in relation to employment development and the consideration of alternative sites. Importantly, **Policy EMP4 does not require or expect farm diversification businesses to be relocated away from the associated agricultural holding, nor does it promote the separation of diversification activities from the primary farming enterprise.**

4.2.25 Notwithstanding this, and in accordance with *Criterion a)* of Policy EMP2, which requires a sequential assessment of suitable alternative employment sites and premises, a thorough review of alternative industrial rental opportunities within the wider area has been undertaken in the interests of completeness. This assessment has confirmed that **there are no suitable or reasonably available alternative sites capable of accommodating the specific operational requirements of the proposed development** or the integrated nature of the Applicants' agricultural and

land management businesses. The following assessment therefore demonstrates why no such suitable alternatives exist in this instance.

4.2.26 Figure 18 below presents a map identifying industrial sites currently available to rent on *LoopNet* within the wider area surrounding the application site.



**Figure 18**

4.2.27 As illustrated by Figure 18 above, the nearest industrial rentals are at a significant distance from the application site, with the nearest being at approximately 15 miles distance.

4.2.28 Figure 19 below shows a map identifying industrial rentals currently available on *Zoopla* within the wider area surrounding the application site.

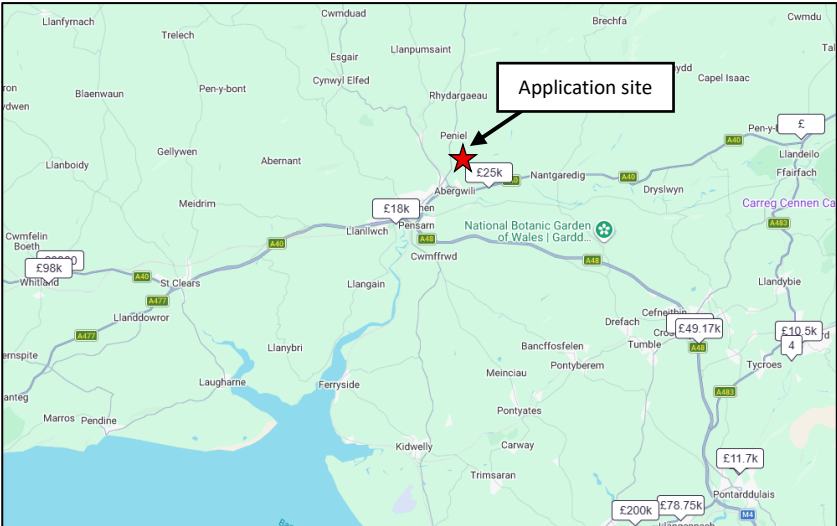


Figure 19

4.2.29 Notably, two industrial rentals are available within 6 miles of the application site on Zoopla – details of which are provided in the table below. *(Please note that the distances above have been calculated via Peniel, as all large vehicles associated with the holding are under strict instruction to access and leave the farmstead via this route in order to utilise the widened section of carriageway and improved visibility splays, thereby maintaining highway safety.)*

| Nearby Examples of Rentals                                                                                                                                                                               | Location  | Rental Rate (£ per sq. ft. per annum) | Size of unit space (m <sup>2</sup> ) | Distance from site via Peniel (miles) |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|---------------------------------------|--------------------------------------|---------------------------------------|
| <br>£25,000 pa (£2,083 pcm)<br>Warehouse to let<br>Abergwili, Carmarthen SA31                                         | Abergwili | 6                                     | 887                                  | 4.8                                   |
| <br>£18,000 pa (£1,500 pcm)<br>Light industrial to let<br>Unit 3, St Ivel, Llanarfon Road, Johnstown, Carmarthen SA31 | Johnstown | 4.56                                  | 366                                  | 6                                     |

Table 1

- 4.2.30 Despite the relative proximity of the two industrial rentals identified above, neither represents a practical or suitable alternative for the Applicants' operational needs. The Applicants' land management business is closely integrated with the existing agricultural enterprise, with the same machinery, equipment and storage resources used across both operations. Therefore, **it is essential that these resources are retained at the farmstead to ensure efficient day-to-day operation of the agricultural enterprise.**
- 4.2.31 Relocating storage to an alternative location would not only introduce significant operational inefficiencies and additional cost, but would also generate unnecessary vehicle movements between sites, especially since machinery and larger vehicles would still be required to travel to and from Marcholws via Peniel in order to utilise the safer access route previously described. This would **significantly increase traffic on the local highway network, add operational cost, and reduce efficiency without any functional benefit.**
- 4.2.32 Importantly, relocating the office element away from Marcholws would separate the administrative side of the business from the operational farm base, **effectively splitting what is currently an integrated agricultural and land management operation into two separate and disconnected enterprises.** In turn, this would undermine the close functional relationship between both enterprises, reduce day-to-day operational efficiency, and risk negatively **impacting the long-term viability and resilience of the agricultural holding**, which remains the Applicants' primary business.
- 4.2.33 It is also important to note that the Applicants, who will occupy and operate from the office, are required to remain based at the farmstead in order to undertake ongoing agricultural duties throughout the working day, including the day-to-day management of the sheep enterprise. The ability to move efficiently between office duties and on-site farm operations is therefore essential to the continued effective management and functioning of the agricultural holding.
- 4.2.34 Furthermore, **neither of the identified sites benefits from planning permission for office use**, which is a key component of the proposal. The Johnstown unit is also constrained in terms of available internal space and cannot accommodate the

required office provision, whilst the Abergwili unit lacks mains water and electricity, both of which are essential for office use.

4.2.35 It is also important to recognise that the operational requirements of the Applicants' agricultural and land management businesses extend beyond standard storage and office accommodation. In particular, **many industrial premises restrict or do not permit the storage of agricultural fuel**, whereas the existing farmstead at Marcholws already accommodates such uses in connection with the agricultural enterprise. As such, the farmstead provides a uniquely suitable location that cannot reasonably be replicated by standard industrial units.

4.2.36 Accordingly, whilst off-site rental units may exist in the wider area, **they do not represent a realistic, sustainable or economically viable alternative**. The farmstead provides the only practical and functional location for the integrated operation of the Applicants' agricultural holding and land management business, ensuring efficient day-to-day working and safeguarding the long-term resilience of both enterprises.

#### **POLICY TR3 – HIGHWAYS IN DEVELOPMENTS: DESIGN CONSIDERATIONS**

4.2.37 Policy TR3 requires development proposals to demonstrate that safe and suitable access can be achieved, that highway safety is maintained, and that proposals do not generate unacceptable traffic impacts or off-site congestion.

4.2.38 The proposed development fully accords with these requirements. The site is served by an established agricultural access serving the wider farmstead, which is capable of **safely accommodating the type and scale of vehicles associated with both the agricultural holding and the land management business**. The internal access layout provides sufficient space for large agricultural and delivery vehicles to manoeuvre safely within the site, including the ability to turn around and exit in forward gear.

4.2.39 The northern section of the access incorporates a gentle bend and a widened carriageway, which further facilitates safe and efficient movement of larger vehicles when entering and exiting the site. These design features ensure that required visibility splays and manoeuvring requirements are achieved, thereby maintaining highway safety and ease of movement.

4.2.40 In addition, all large vehicles associated with the holding are **subject to strict operational management and are required to access and leave the site via Peniel**, ensuring use of the safest and most appropriate route. The timing of larger vehicle movements is also carefully managed to avoid the beginning and end of the school day (**no movement between 8am-9:30am and 3pm-4:30pm**), in order to further minimise conflict with other road users and maintain highway safety.

4.2.41 The Applicants' land management business has operated from Marcholws for the past 5 years without any recorded highway safety issues or complaints, demonstrating that the existing access arrangements are safe and suitable for the scale and nature of activity undertaken from the site. Notably, the development **will not generate a material increase in traffic beyond that already associated with the established agricultural enterprise and land management business**. The nature of the proposal involves the storage and management of machinery and equipment rather than an intensification of trip-generating uses. As such, there will be **no unacceptable impact on the surrounding road network, and no off-site congestion or parking pressures will arise**.

4.2.42 The site layout also provides **adequate on-site parking and servicing space** within the existing farmyard area, ensuring that all operational needs can be accommodated within the site boundary.

4.2.43 Surface water from the development will be appropriately managed via sustainable drainage measures within the site, ensuring that highway drainage is not adversely affected and aligning with best practice in sustainable drainage design.

4.2.44 Overall, the proposal accords with Policy TR3 as it provides a safe, functional and appropriately designed access arrangement, maintains highway safety, and does not result in any unacceptable impact on the capacity or operation of the surrounding highway network.

#### **POLICY EQ4 – BIODIVERSITY**

4.2.45 Policy EQ4 seeks to ensure that the habitats and species are suitably enhanced and protected from inappropriate development and not adversely affected by development proposals.

4.2.46 *Criterion a)* requires that the impact of development on biodiversity “*can be satisfactorily mitigated, acceptably minimised or appropriately managed to include net enhancements*”. A **Preliminary Ecological Appraisal (PEA)** has been undertaken in support of the application, which confirms that, provided best practice measures are followed during the design and construction process, **the proposed development would not present a significant risk to protected species or designated sites in the surrounding area.**

4.2.47 The PEA further advises that the development should incorporate measures to achieve a net biodiversity gain, which is delivered through the enhancement measures set out in the accompanying Green Infrastructure Statement. These include the installation of multiple **bird nesting boxes and bat roosting boxes** at suitable locations across the site which will contribute to supporting local wildlife populations and achieving net ecological gain

4.2.48 The proposal is located within the existing operational farmstead comprising hardstanding and agricultural buildings of limited ecological significance and will not result in the loss of any important habitats, trees or hedgerows. **Existing mature boundary vegetation and the wider agricultural fields surrounding the site will be retained in full**, continuing to provide valuable habitat and ecological connectivity.

4.2.49 Accordingly, the proposal safeguards existing ecological features and delivers a clear net enhancement in biodiversity. The development therefore fully accords with the requirements of Policy EQ4.

## **5.0 ACCESSIBILITY**

- 5.0.1 All-inclusive design issues identified have been addressed wholly in compliance with the requirements of the Disability Rights Commission Code of Practice “Rights of Access: Services and Premises” and Part M of the Building Regulations, where applicable. Thereafter full compliance will be maintained in perpetuity.
- 5.0.2 Although the office space within Unit A will be used solely by the two Applicants, it will nevertheless be designed in accordance with relevant Building Regulations accessibility requirements, including the provision of an accessible WC at ground floor level. Safe and convenient access will therefore be provided for all users throughout the operational lifetime of the development.
- 5.0.3 The site is located within an established agricultural holding at Marcholws and benefits from an existing level access arrangement via the farm access track and internal hardstanding area. There are no significant changes in ground levels between the access point and the proposed buildings, allowing for safe and convenient movement throughout the site.

## **5.1 MOVEMENT TO, FROM AND WITHIN THE DEVELOPMENT**

- 5.1.1 The application site forms part of an established rural farmstead located in open countryside at Peniel and is accessed via an existing private agricultural access. The site is well integrated within the surrounding rural highway network and is readily accessible for the types of vehicles associated with both the agricultural holding and the land management business, including farm machinery, service vehicles and light commercial traffic.
- 5.1.2 The internal layout of the site is designed to allow safe and efficient movement within the farmstead, with all proposed buildings located adjacent to the existing area of hardstanding. This provides sufficient space for turning, loading and manoeuvring of agricultural vehicles, including the ability for larger vehicles to enter and exit the site in forward gear where required.
- 5.1.3 Given the nature of the proposal, there is no reliance on public transport access, as the development relates to operational agricultural and land management activities. However, the existing access arrangements are appropriate for the scale and type

of use proposed, and the development does not give rise to any requirement for improvements to the public transport network.

- 5.1.4 The proposal allows machinery, equipment and supplies to be retained directly within the existing farmstead where it is required on a day-to-day basis, thereby reducing the need for unnecessary trips between alternative locations. This supports the efficient operation of both the agricultural enterprise and the Applicants' farm diversification business, whilst ensuring safe and practical access and movement arrangements are maintained throughout the site.

## 6.0 CHARACTER

### 6.1 LANDSCAPE DESIGN

- 6.1.1 The proposed development adopts a functional and appropriate approach to landscaping, reflecting the established rural farmstead context of the site. The development is located within an existing cluster of agricultural buildings at Marcholws and is set within an operational farmyard environment. As such, the design approach is focused on retaining the working character of the holding, with minimal intervention required in respect of external landscaping. Existing site features, including the established farm access and hardstanding areas, are retained and utilised as part of the overall development strategy.

### 6.2 SCALE

- 6.2.1 The proposed development comprises **three units, including office accommodation, general agricultural storage, and a plant room.** The scale of the buildings is modest and appropriate to their functional requirements and is consistent with the size and form of existing agricultural structures at Marcholws. The development is designed to sit comfortably within the established farmstead, ensuring that it does not appear overbearing or out of character within the wider rural landscape. Importantly, the scale of the buildings reflects the operational needs of both the existing agricultural enterprise and the Applicants' land management business.

### 6.3 LAYOUT OF DEVELOPMENT

- 6.3.1 The layout of the proposed development has been guided by the established pattern of built form at the farmstead. All three units are positioned within the existing cluster of agricultural buildings and are located adjacent to the existing area of hardstanding, ensuring a logical and functional arrangement. This allows for efficient movement of machinery and vehicles within the site while maintaining clear operational relationships between the proposed buildings and the wider farm enterprise. The layout also ensures that the development is consolidated within the existing farmyard, avoiding encroachment into the wider countryside.

### 6.4 APPEARANCE

- 6.4.1 The proposed buildings adopt a traditionally agricultural design appropriate to their rural setting and operational use. The design utilises traditional farm building

materials, including steel portal frames, grey cladding and fibre cement roofing, reflecting the character of modern agricultural development. The office building introduces a slightly more refined form due to its dual administrative function but remains consistent with the overall agricultural character. The overall design approach ensures that the development is sympathetic to the character of the rural environment at Marcholws and is visually unobtrusive within the wider landscape, particularly as the proposed units are located within an existing farmyard cluster.

## 7.0 COMMUNITY SAFETY

- 7.1 The layout of the proposed development reflects the operational requirements of the agricultural holding and supports the safe and efficient use of the site. The arrangement of the three units within the existing farmyard cluster facilitates safe movement of vehicles, machinery and site users.
- 7.2 The access arrangements provide safe and practical movement throughout the site for all users associated with both the agricultural holding and land management business. The existing farm access and internal hardstanding allow for the safe manoeuvring of vehicles, including larger agricultural and delivery vehicles. In the interests of highway and community safety, **all large vehicles are strictly routed to and from the site via Peniel and are managed to avoid peak periods, including school start and finish times.**
- 7.3 The proposed siting of the development within the established farmyard, together with its separation from the host dwelling, ensures that operational activities can be undertaken safely and efficiently without conflict between residential and agricultural uses, thereby supporting overall site safety and effective farm management.

## 8.0 ENVIRONMENTAL SUSTAINABILITY

### 8.1 LANDSCAPING

8.1.1 As detailed above, the design of the proposed development has been carefully considered to ensure that the rural farmstead and wider countryside setting at Marcholws is respected. The scale, layout and siting of the three proposed units have been informed by the existing cluster of agricultural buildings and adjoining hardstanding, ensuring the development is located within the established farmyard. This approach avoids encroachment into the wider open countryside and ensures the proposal integrates appropriately within the operational agricultural context without adversely affecting the character or appearance of the surrounding area. The site is generally flat in nature and is not expected to require any significant excavation works. However, should any groundworks be necessary, any arising material will be entirely re-used on site.

### 8.2 BIODIVERSITY AND LOCAL ENVIRONMENT

8.2.1 The proposal will have no detrimental impact on biodiversity or ecological interests. The development is located within an existing farmyard area which is already in active agricultural use and **does not affect any designated ecological features**. In addition, the scheme incorporates biodiversity enhancement measures, including the **installation of bird and bat boxes across the site**. Further details are provided within the accompanying Green Infrastructure Statement.

### 8.3 ENERGY EFFICIENCY/CARBON REDUCTION

8.3.1 The proposed development incorporates a range of measures to improve energy efficiency and reduce carbon emissions where practicable, including:

- Maximising natural daylight through appropriate fenestration design in the office building
- Installation of PV panels on the roofs of all proposed units to generate renewable energy on-site
- High levels of insulation in the office unit to meet building standards
- Use of locally sourced materials and contractors where feasible to reduce transport-related emissions
- Use of durable, low-maintenance agricultural materials

## **8.4 WATER AND WASTE MANAGEMENT**

- 8.4.1 The development will utilise sustainable water management practices appropriate to its rural farmstead context. Unit A will connect to the existing on-site septic tank, while Units B and C do not require foul water connections. Surface water will be managed via on-site soakaways, ensuring appropriate disposal within the site boundary and avoiding additional pressure on external drainage infrastructure.

## 9.0 CONCLUSION

- 9.1 The proposed development represents an opportunity to provide essential agricultural and farm diversification infrastructure at Marcholws, Peniel, supporting the continued operation of an established 70-acre agricultural holding with approximately 500 sheep. The scheme provides purpose-built units for the storage machinery, equipment and supplies, dedicated office space and a plant room, addressing clear operational deficiencies within the existing farmstead.
- 9.2 The proposal will also support the Applicants' farm diversification business, which delivers land management services to local farmers, landowners and public sector bodies, thereby making a positive contribution to the wider rural economy. In doing so, the development will improve the efficiency, resilience and long-term viability of both enterprises, ensuring the continued sustainability of the agricultural holding whilst supporting rural employment and service provision.
- 9.3 The design and siting of the development have been carefully informed by the existing character and layout of the farmstead. The proposed units are located within the established cluster of agricultural buildings and adjacent to existing hardstanding, forming a logical and functional extension of the farmyard. The scheme is of an appropriate scale and agricultural appearance, minimises visual impact, protects residential amenity, and ensures safe and effective highway access and operational movement.
- 9.4 Overall, the proposal represents a sustainable, policy-compliant form of rural development that supports both agricultural activity and rural diversification, in accordance with national and local planning policy. It is therefore respectfully requested that the Authority grant planning permission for the proposed development.