

Green Infrastructure Statement

Site: The Waterside, The Quay, Carmarthen SA31 3JP

Proposal: Refurbishment and Extension to Convert Nightclub into Elderly Persons Retirement Apartments

Introduction

This proportionate Green Infrastructure Statement (GIS) has been prepared with full regard to the guidance as set out in Chapter 6 of *Planning Policy Wales* (Edition 12) and in particular the 'Stepwise Approach' detailed in Paragraph 6.4.21 and Figure 12, which is reproduced below.

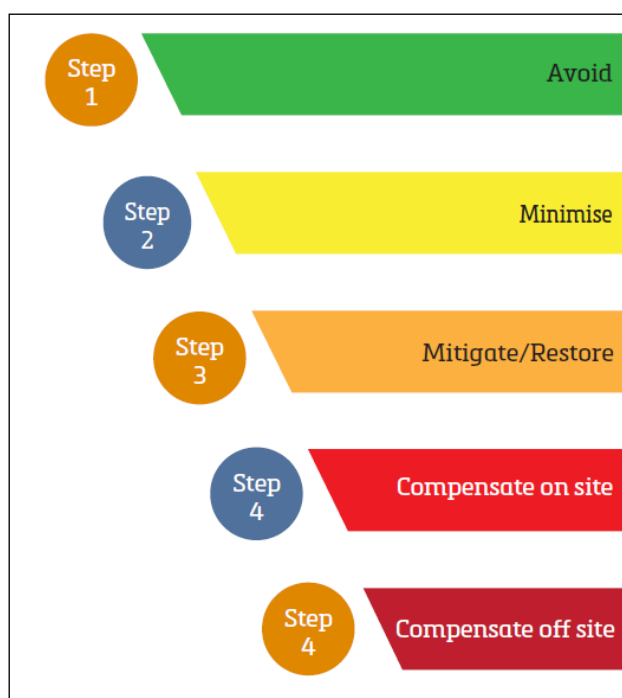


Figure 1

Existing Site Green Infrastructure Assets

The Application site consists of a double fronted building set between The Quay and Coracle Way and principally overlooking the northern bank of the River Towy on the fringe of Carmarthen Town Centre. The commercial building offers a two-storey façade to The Quay noted for multiple commercial loading doors to that riverside elevation, with raised window openings at ground floor, and with an elongated first floor exhibiting a variety of vertically

proportioned window openings. Part of the façade is crowned with a decorate parapet, set afront of a pitched roof.

Figure 2 below provides an extract from the Ordnance Survey Explorer map with the Application site identified by a red arrow. The neighbouring buildings and open yard use along The Quay are evident at Figure 4 being an extract from Google Earth. It also identifies Coracle Way, which is the main distributor road about the edge of the town centre and riverside. Coracle Way is part of the A4242, which extends at its western edge off a roundabout interchange with The Quay and Blue Street. It is a dual carriageway for eastbound traffic, but only single carriageway for westbound traffic from its traffic light-controlled junction to the eastern side with Jail Hill, Old Station Road, and Towy Bridge.

By contrast, due to its width, The Quay is a one-way street, allowing only westbound movement, but is equipped with a narrow footway to the northern flank. The southern flank is characterised by the historic quayside embankment and iron mooring posts, linked by decorative metal chains.

The site currently contains **no soft landscaped areas or other forms of vegetation**, and thus no green infrastructure, as illustrated in the OS Map at Figure 2, the Location Plan at Figure 3, and Google Earth aerial image below at Figure 4, captured in August 2022.

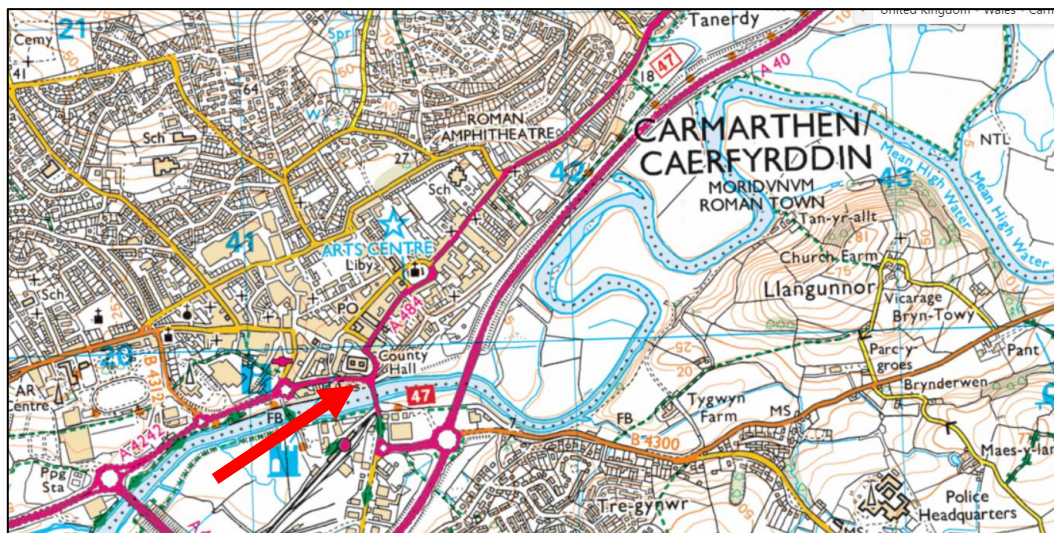


Figure 2 – OS Explorer Map to Identify The Waterside

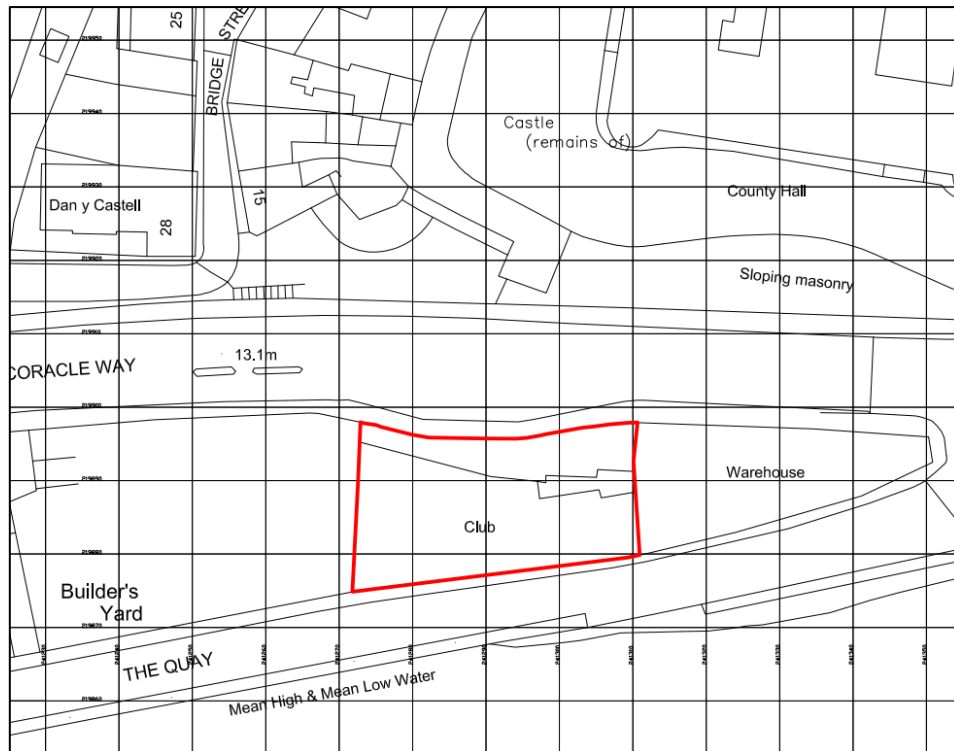


Figure 3 – Site Location Plan

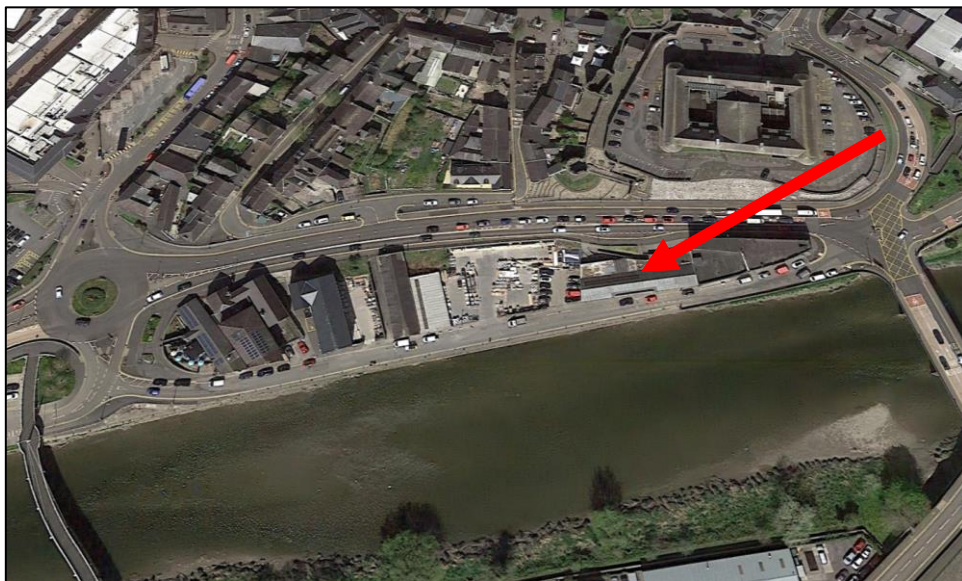


Figure 4 – Google Earth Extract of The Quay at Carmarthen

Proposed Development and Provision of Green Infrastructure Assets

The Application proposals seek to completely re-develop The Waterside site, refurbishing and extending the upper floors of the building, leaving only the lower ground floor in current form to The Quay. The Coracle Way elevation will be completely transformed with disjointed array of flat-roofed projections all removed and a complementary façade presented to match that proposed to The Quayside. The existing industrial-type roof will be replaced with a complementary saddle pitched roof, but respectful of the adjoining massing of Towy Works.

The proposed redevelopment seeks to introduce a lightly coloured painted render to refresh the façade, and be complemented with grey aluminium windows, and matching colour coded metal balustrades to Juliette balconies to the upper floors. The redeveloped façade will seek to replicate that proposed off The Quay and introduce a sense of uniformity, to mimic that evident at Towy Works alongside. It proposes a main entrance to the proposed apartments, partly recessed under an open canopy, but centrally positioned, and afforded equal proportions of vertical emphasis and symmetrical in placement.

The proposals will include the provision on the side elevations of the building for one 'Beaumaris' or similar bat roosting box and one Sparrow Terrace nesting box, thus increasing the current biodiversity level of the site. The location of the boxes is illustrated at Figures 6 and 7 below.

Examples of the type of boxes are also illustrated overleaf.

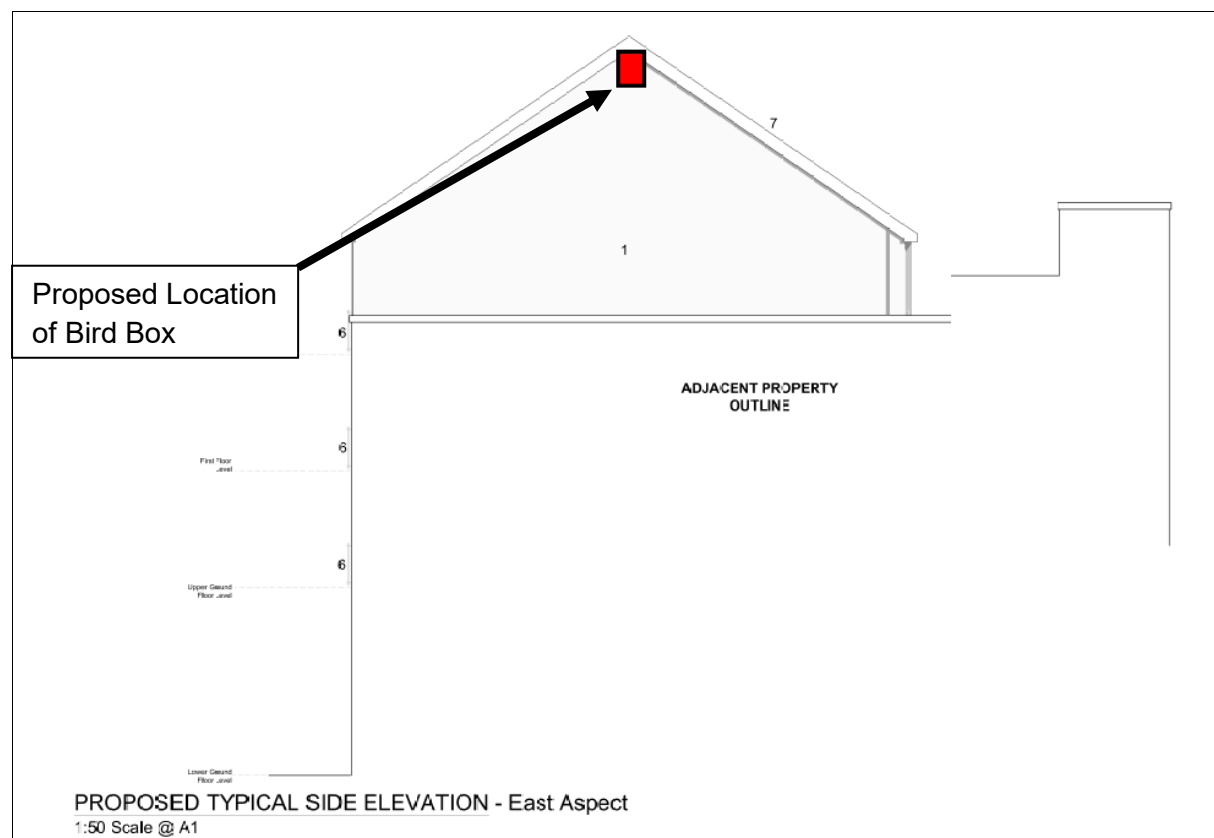


Figure 6 – Location of Proposed Bird Box to Enhance Biodiversity at the Site

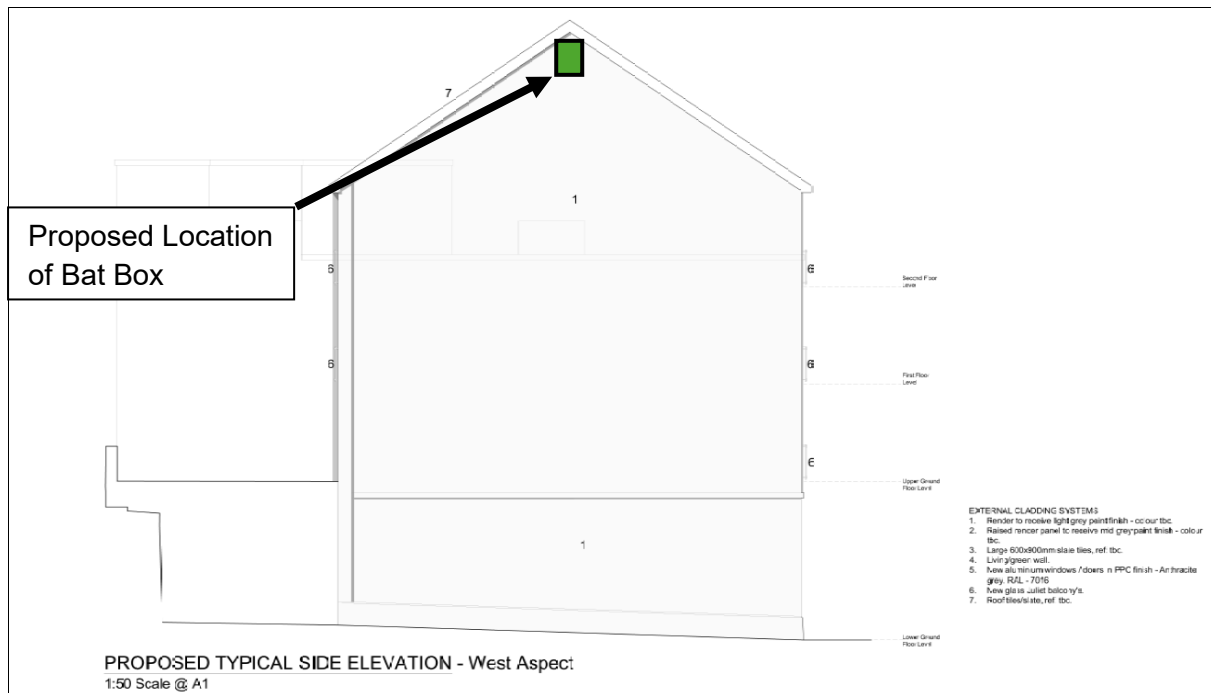


Figure 7– Location of Proposed Bat Box to Enhance Biodiversity at the Site



Figure 8 – Beaumaris Woodstone Bat Box



Figure 9 – Sparrow Terrace Nest Box

The proposals will also provide for landscaping to the forecourt of the site onto Coracle Way, as shown in Figure 10 below. Planting areas will be introduced with scrubs, flower planting and tree saplings to provide a pleasant green entrance to the principle entrance to the new apartments. That new vegetation will encourage invertebrates attracted to pollinating plants.

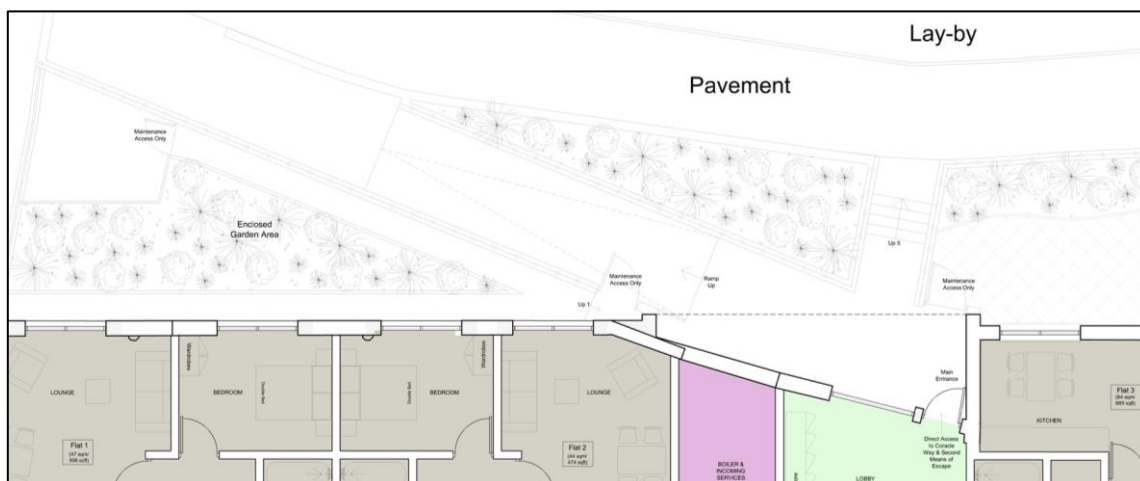


Figure 10 – extract of forecourt to Coracle Way and landscaping proposals

Green Infrastructure Assessment of Proposed Development

The application proposal has **avoided** the loss of any green infrastructure assets currently present on site. The application proposal will **increase** the current level of green infrastructure on site.